

**A meeting of the Local Review Body will be held on Wednesday 6 April 2022 at 4pm or following conclusion of the meeting of the Planning Board (if later).**

**Members may attend the meeting in person or via remote online access. Webex joining details will be sent to Members and Officers prior to the meeting. Members are requested to notify Committee Services by 12 noon on Tuesday 5 April 2022 how they intend to access the meeting.**

**In the event of connectivity issues, Members are asked to use the *join by phone* number in the Webex invitation and as noted above.**

**Information relating to the recording of meetings can be found at the end of this notice.**

IAIN STRACHAN  
Head of Legal & Democratic Services

**BUSINESS**

1. <b>Apologies, Substitutions and Declarations of Interest</b>	<b>Page</b>
2. <b>Planning Applications for Review</b>  (a) <b>Ms Claire Clarke</b> Change of use of part of domestic garage to beauty salon (sui generis): 4 Orchard Grove, Kilmacolm (21/0195/IC)	<b>p</b>
(b) <b>Mr James McConnachie</b> Proposed conversion and alteration of windows and installation of bridge and steps to access higher garden area: 11 Old Inverkip Road, Greenock (21/0102/IC)	<b>p</b>
(c) <b>Mr and Mrs S Kay</b> Change of use of agricultural grazing land to domestic garden ground to form an enlarged garden together with the erection of an extension to the dwellinghouse and associated works: Castlehill Farm Cottage, Kilmacolm Road, Port Glasgow (21/0136/IC)	<b>p</b>

The reports are available publicly on the Council’s website and the minute of the meeting will be submitted to the next standing meeting of the Inverclyde Council. The agenda for the meeting of the Inverclyde Council will be available publicly on the Council’s website.

Please note: this meeting may be recorded or live-streamed via YouTube and the Council’s internet site, where it will be capable of repeated viewing. At the start of the meeting the Provost/Chair will confirm if all or part of the meeting is being

recorded or live-streamed.

You should be aware that the Council is a Data Controller under the Data Protection Act 2018. Data collected during any recording or live-streaming will be retained in accordance with the Council's published policy, including, but not limited to, for the purpose of keeping historical records and making those records available via the Council's internet site or YouTube.

If you are participating in the meeting, you acknowledge that you may be filmed and that any information pertaining to you contained in the recording or live-stream of the meeting will be used for webcasting or training purposes and for the purpose of keeping historical records and making those records available to the public. In making this use of your information the Council is processing data which is necessary for the performance of a task carried out in the public interest. If you are asked to speak at the meeting then your submission to the committee will be captured as part of the recording or live-stream.

If you have any queries regarding this and, in particular, if you believe that use and/or storage of any particular information would cause, or be likely to cause, substantial damage or distress to any individual, please contact the Information Governance team at [dataprotection@inverclyde.gov.uk](mailto:dataprotection@inverclyde.gov.uk)

Enquiries to - **Colin MacDonald** - Tel 01475 712113

**LOCAL REVIEW BODY**

**6 APRIL 2022**

**PLANNING APPLICATION FOR REVIEW**

**MS CLAIRE CLARKE**

**CHANGE OF USE OF PART OF DOMESTIC GARAGE TO BEAUTY SALON (SUI  
GENERIS)**

**4 ORCHARD GROVE, KILMACOLM (21/0195/IC)**

**Contents**

- 1. Planning Application dated 23 June 2021 together with Location and Floor Plans**
- 2. Planning Application Supporting Statement and Site Photographs**
- 3. Appointed Officer's Report of Handling dated 15 September 2021**
- 4. Inverclyde Local Development Plan 2019 Policy Extracts**

**To view the Inverclyde Local Development Plan see:**

**<https://www.inverclyde.gov.uk/planning-and-the-environment/planning-policy/development-planning/ldp>**

- 5. Inverclyde Local Development Plan 2019 Map Extract**
- 6. Representation in relation to Planning Application**
- 7. Decision Notice dated 22 October 2021 issued by Head of Regeneration & Planning**
- 8. Notice of Review Form dated 12 January 2022 with Supporting Statement from Bryce Boyd Planning Solutions**
- 9. Suggested Condition should Planning Permission be Granted on Review**

**Note: Inverclyde Proposed Local Development Plan 2021 has been attached to the rear of the agenda papers as supplementary content.**

**1. PLANNING APPLICATION DATED 23 JUNE 2021  
TOGETHER WITH LOCATION AND FLOOR PLANS**

Municipal Buildings Clyde Square Greenock PA15 1LY Tel: 01475 717171 Fax: 01475 712 468 Email: devcont.planning@inverclyde.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100433718-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Type of Application

What is this application for? Please select one of the following: \*

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

## Description of Proposal

Please describe the proposal including any change of use: \* (Max 500 characters)

change of use of part of garage to beauty salon

Is this a temporary permission? \*  Yes  No

If a change of use is to be included in the proposal has it already taken place?  
(Answer 'No' if there is no change of use.) \*  Yes  No

Has the work already been started and/or completed? \*

No  Yes – Started  Yes - Completed

Please state date of completion, or if not completed, the start date (dd/mm/yyyy): \*

Please explain why work has taken place in advance of making this application: \* (Max 500 characters)

Business commenced from the garage on 26 April 2021. Client was not aware that planning permission was required for the use of this small part of the house for business purposes as she knew of many people in the village who were working from home.

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant  Agent

## Agent Details

Please enter Agent details

Company/Organisation:	bryce boyd planning solutions		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	bryce	Building Name:	ellersleigh
Last Name: *	boyd	Building Number:	
Telephone Number: *	01505874489	Address 1 (Street): *	castlehill road
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	kilmacolm
Fax Number:		Country: *	UK
		Postcode: *	pa13 4el
Email Address: *	bboydplanning@aol.com		

Is the applicant an individual or an organisation/corporate entity? \*

Individual  Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:	Ms	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	
First Name: *	claire	Building Number:	4
Last Name: *	clarke	Address 1 (Street): *	orchard grove
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	kilmacolm
Extension Number:		Country: *	uk
Mobile Number:		Postcode: *	pa13 4hq
Fax Number:			
Email Address: *	[REDACTED]		

## Site Address Details

Planning Authority:

Inverclyde Council

Full postal address of the site (including postcode where available):

Address 1:

4 ORCHARD GROVE

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

KILMACOLM

Post Code:

PA13 4HQ

Please identify/describe the location of the site or sites

Northing

669855

Easting

235473

## Pre-Application Discussion

Have you discussed your proposal with the planning authority? \*

Yes  No

## Pre-Application Discussion Details Cont.

In what format was the feedback given? \*

Meeting  Telephone  Letter  Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) \* (max 500 characters)

sent email to planning officer in response to letter sent to my client indicating that I would be submitting a retrospective planning application in respect of the change of use

Title:

Mr

Other title:

First Name:

david

Last Name:

sinclair

Correspondence Reference Number:

Date (dd/mm/yyyy):

03/06/2021

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

## Site Area

Please state the site area:

10.50

Please state the measurement type used:

Hectares (ha)  Square Metres (sq.m)

## Existing Use

Please describe the current or most recent use: \* (Max 500 characters)

integral garage

## Access and Parking

Are you proposing a new altered vehicle access to or from a public road? \*

Yes  No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? \*

Yes  No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

3

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? \*

3

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

## Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? \*

Yes  No

Do your proposals make provision for sustainable drainage of surface water?? \* (e.g. SUDS arrangements) \*

Yes  No

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? \*

- Yes  
 No, using a private water supply  
 No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).



## Assessment of Flood Risk

Is the site within an area of known risk of flooding? \*

Yes  No  Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? \*

Yes  No  Don't Know

## Trees

Are there any trees on or adjacent to the application site? \*

Yes  No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

## Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? \*

Yes  No

If Yes or No, please provide further details: \* (Max 500 characters)

current facilities available

## Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? \*

Yes  No

## All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? \*

Yes  No

## All Types of Non Housing Development – Proposed New Floorspace Details

For planning permission in principle applications, if you are unaware of the exact proposed floorspace dimensions please provide an estimate where necessary and provide a fuller explanation in the 'Don't Know' text box below.

Please state the use type and proposed floorspace (or number of rooms if you are proposing a hotel or residential institution): \*

Class 2 Financial, professional and other services

Gross (proposed) floorspace (In square meters, sq.m) or number of new (additional) Rooms (If class 7, 8 or 8a): \*

10

If Class 1, please give details of internal floorspace:

Net trading spaces:

Non-trading space:

Total:

If Class 'Not in a use class' or 'Don't know' is selected, please give more details: (Max 500 characters)

## Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013 \*  Yes  No  Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

## Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? \*  Yes  No

## Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? \*  Yes  No

Is any of the land part of an agricultural holding? \*  Yes  No

## Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

## Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: bryce boyd

On behalf of: Ms claire clarke

Date: 23/06/2021

Please tick here to certify this Certificate. \*

## Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? \*

Yes  No  Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? \*

Yes  No  Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? \*

Yes  No  Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? \*

Yes  No  Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? \*

Yes  No  Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? \*

Yes  No  Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

Site Layout Plan or Block plan.

Elevations.

Floor plans.

Cross sections.

Roof plan.

Master Plan/Framework Plan.

Landscape plan.

Photographs and/or photomontages.

Other.

If Other, please specify: \* (Max 500 characters)

letter, supporting statement

Provide copies of the following documents if applicable:

A copy of an Environmental Statement. \*

Yes  N/A

A Design Statement or Design and Access Statement. \*

Yes  N/A

A Flood Risk Assessment. \*

Yes  N/A

A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). \*

Yes  N/A

Drainage/SUDS layout. \*

Yes  N/A

A Transport Assessment or Travel Plan

Yes  N/A

Contaminated Land Assessment. \*

Yes  N/A

Habitat Survey. \*

Yes  N/A

A Processing Agreement. \*

Yes  N/A

Other Statements (please specify). (Max 500 characters)

## Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr bryce boyd

Declaration Date: 23/06/2021

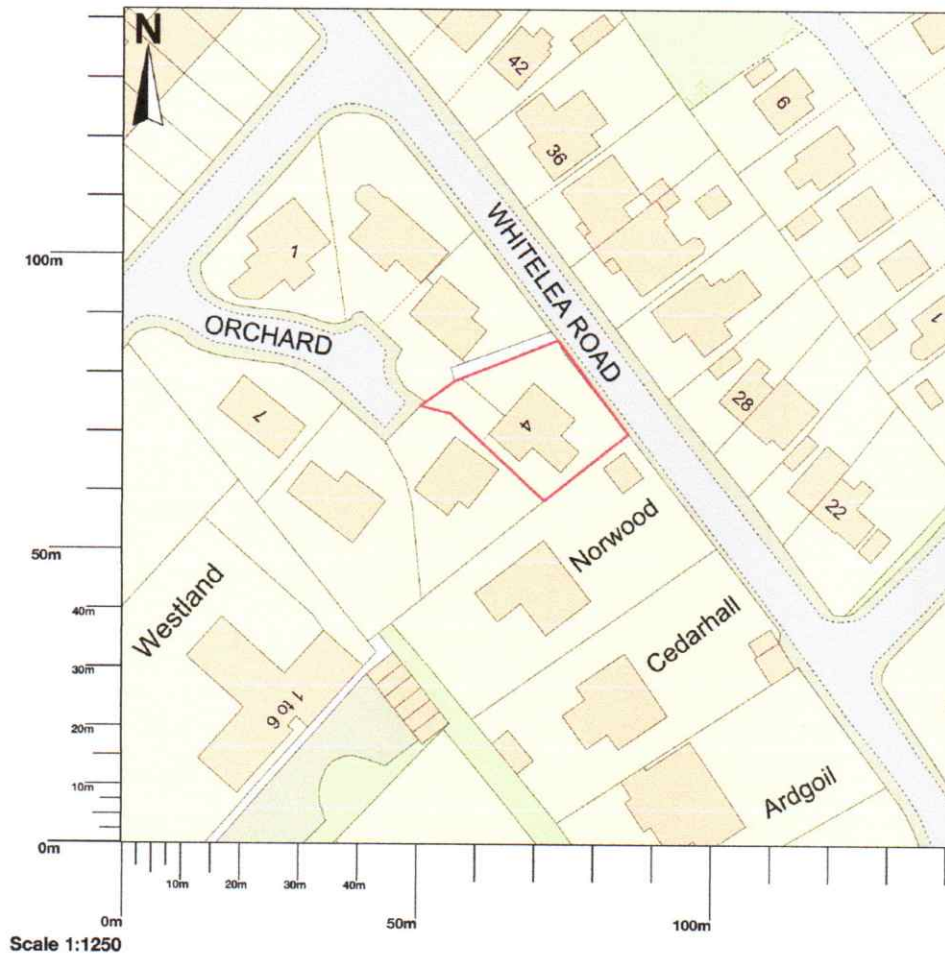
## Payment Details

Online payment: ICPP00001167

Payment date: 29/06/2021 10:55:00

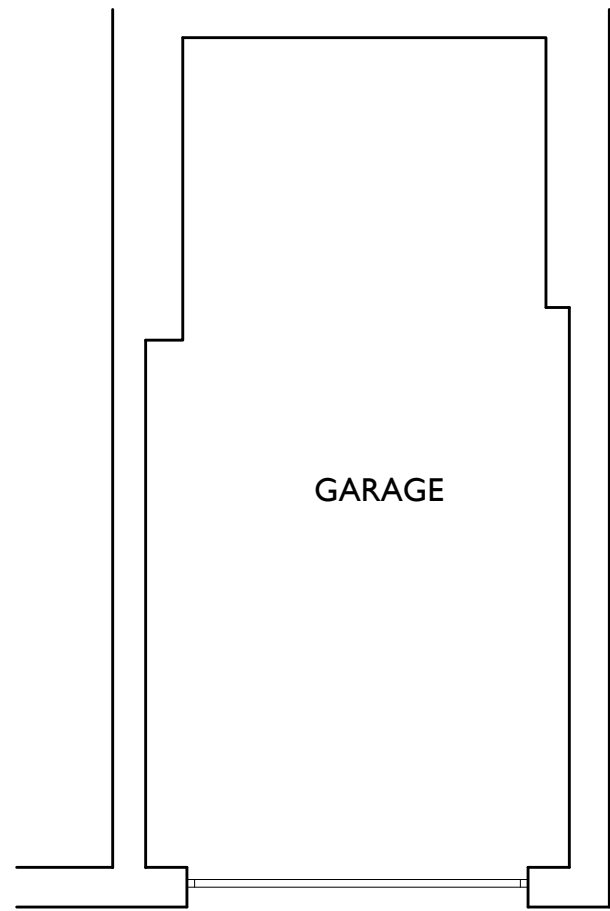
Created: 29/06/2021 10:56

## 4 Orchard Grove, Kilmacolm, PA13 4HQ

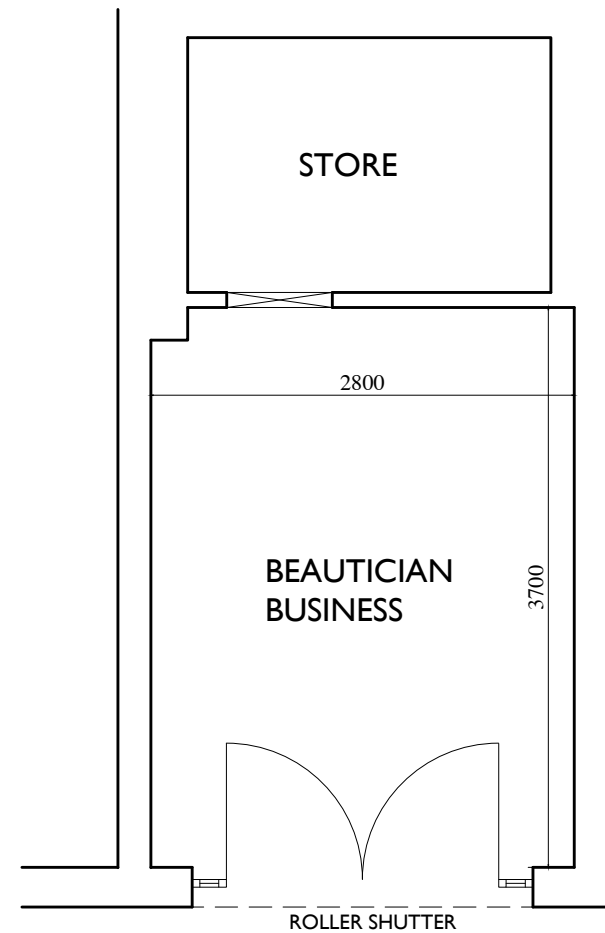


Map area bounded by: 235402,669784 235544,669926. Produced on 23 June 2021 from the OS National Geographic Database. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2021. Supplied by UKPlanningMaps.com a licensed OS partner (100054135). Unique plan reference: p2cuk/650646/881634

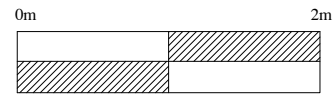
# LOCATION PLAN



GROUND FLOOR PLAN AS EXISTING 1/50



GROUND FLOOR PLAN AS PROPOSED 1/50



SCALE 1/50

revisions & notes

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client: MR & MRS CLARK

Job no. 21-854

drg. no. **01 PL.**

project: 4 ORCHARD GROVE, KILMACOLM

drawing size - A3

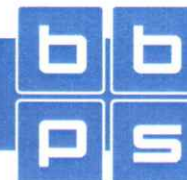
drawn: MM

checked: MM



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**2. PLANNING APPLICATION SUPPORTING  
STATEMENT AND SITE PHOTOGRAPHS**



**STATEMENT IN SUPPORT OF RETROSPECTIVE PLANNING APPLICATION  
FOR USE OF PART OF GARAGE TO A BEAUTY SALON AT 4 ORCHARD  
GROVE KILMACOLM**

**Background**

My client has operated a successful beauty salon business in Kilmacolm, Beautique, since 2007 operated by herself and two members of staff.

With the outbreak of Covid last year, and lockdown, the two members of staff were lost to the business. The business re-opened in September under all of the new regulations with my client operating the business on her own until the second lockdown in December. During all of this time, rental on the premises had to be paid and it proved completely unviable to continue with the operation after the second lockdown.

In April of this year my client decided to attempt to restart some of her former business, operated solely by herself in order to provide a limited service in response to requests from former clients in the local community.

The decision to operate from her garage is a direct result of the current Covid pandemic and the continuing requests from former clients, to provide reduced services for them locally.

The decision to provide nail and brow services from part of the garage area was taken to minimise the risks of infection of people entering her home. It is a wholly contained space which is easily cleaned to mitigate risks of transmission of the virus. Any risk is therefore at a minimum.

**Current Operations of the Business**

The service provided from the secure garage area is a much reduced level of service from the range of beauty treatments provided from the former shop.

Pre-pandemic, the shop offered a full service of beauty treatments including nails, waxing, body massage, body treatments, facial treatments, lash treatments, spray tanning, brow treatments etc.

The current service only offers nails and brows.

The hours of operation are Monday to Friday 9.15 until 2.30 and currently two evenings per week 5-7. All appointments are made on line via a booking app and no walk in appointments are available.

The normal level of trade is 3 to 4 clients per day, each visit lasting between 45 minutes and one hour. Only one client is at the premises at any one time and there is a minimum of 15



minutes between each client leaving the premises and a new client arriving. This ensures that activity is kept to a minimum and enables the facility to be thoroughly cleaned between appointments.

An examination of the clients visiting the premises has established that around 90% are residents of Kilmacolm and of all clients visiting, 70% arrive by walking. Most of the clients are professional people living in the village who respect the area and adjacent resident's amenity.

For the few clients who do arrive at the premises by car there is adequate room in the driveway to provide off street parking for a single vehicle, so there is no impact on street parking or road use. As detailed above only one client is present at the premises at any one time.

There is absolutely no noise generated by the operations of the business. No machines are used in any of the treatments.

### **Comment**

It is well known that many businesses are currently operating from domestic dwellings throughout Inverclyde, including Kilmacolm. The level of potential disturbance caused by the very restricted services provided by my client is extremely low and no worse than others within the village. Indeed, it is much less than the various childminding operations which do exist in the immediate vicinity.

It is submitted that use of this small area of the dwelling house to provide a minimal level of beauty treatments during restricted opening hours is completely acceptable in this residential area and, indeed, might be considered as being almost ancillary to the main use of the building as a residential unit.



**GARAGE FRONTAGE WITH ROLLER SHUTTER RAISED**



**GARAGE FRONTAGE SHOWING ROLLER SHUTTERS  
CLOSED**

**3. APPOINTED OFFICER'S REPORT OF HANDLING  
DATED 15 SEPTEMBER 2021**

## REPORT OF HANDLING

**Report By:** David Sinclair

**Report No:** 21/0195/IC

**Local Application  
Development**

**Contact  
Officer:** 01475 712436

**Date:** 15<sup>th</sup> September 2021

**Subject:** Change of use of part of domestic garage to beauty salon (sui generis) at  
4 Orchard Grove, Kilmacolm

## SITE DESCRIPTION

The application site comprises a detached split level dwellinghouse, located in the south-east corner of the cul-de-sac at Orchard Grove, Kilmacolm. The dwellinghouse is finished with a grey concrete tile roof; white render walls with a buff brick frontage on the two-storey section of the building; white uPVC windows, door frames and fasciae; with a blue/grey uPVC front door, white uPVC French doors and a white garage door on the principal elevation. The single storey section of the dwellinghouse formerly contained a garage with no internal link to the rest of the dwellinghouse. This has recently been converted into a beauty salon which is being operated by the current owner.

The garage is contained underneath the main house roof and is raised by approximately 1 metre relative to the rest of the ground floor level of the building. The site contains a tarmac driveway in front of the garage with space for two cars, which is separated from the rest of the front garden by a grey timber fence. Boundary treatments include a 4 metre high hedge along the west side elevation towards the front and timber fencing along the front and remaining side elevations.

The remaining properties in the cul-de-sac are similar in design and scale, containing matching materials and finishes for the roofs and walls, with some variations to door finishes.

## PROPOSAL

Planning permission is sought for a part change of use of the garage to be operated as a commercial beauty salon. The beauty salon is proposed to be run as a business, operated solely by the applicant. Proposed hours of operation are between 09:15 and 14:30 Monday to Friday inclusive, with two evening appointments per week between 17:00 and 19:00. The floor plans indicate that the beauty salon is to be self-contained with no internal link shown to the rest of the dwellinghouse.

The application is accompanied by a supporting statement. This includes a number of supporting letters, although these have not been submitted as representations.

## ADOPTED 2019 LOCAL DEVELOPMENT PLAN POLICIES

### Policy 1 – Creating Successful Places

Inverclyde Council requires all development to have regard to the six qualities of successful places. In preparing development proposals, consideration must be given to the factors set out

in Figure 3. Where relevant, applications will also be assessed against the Planning Application Advice Notes Supplementary Guidance.

### **Policy 11 – Managing Impact of Development on the Transport Network**

Development proposals should not have an adverse impact on the efficient operation of the transport and active travel network. Development should comply with the Council's roads development guidelines and parking standards. Developers are required to provide or contribute to improvements to the transport network that are necessary as a result of the proposed development.

### **Policy 22 – Network of Centres Strategy**

The preferred locations for the uses set out in Schedule 6 are within the network of town and local centres identified in Schedule 7. Proposals which accord with the role and function of the network of centres as set out in Schedule 7 and the opportunities identified in Schedule 8 will be supported. Proposals for Schedule 6 uses outwith the network of centres or not conforming with the role and function of a particular centre will only be supported if it can be demonstrated that:

- a) there is not a suitable sequentially preferable opportunity;
- b) there will not be an unacceptable impact on the vibrancy, vitality or viability of other centres within the network of centres; and
- c) there are clear community or economic benefits that can be best achieved at the proposed location.

Proposals for Business (Class 4), residential and hotel uses will also be supported in town and local centres.

### **Policy 24 – Network of Centres Sui Generis Uses**

Proposals for the Sui Generis uses listed in Schedule 6 will be assessed with regard to:

- a) whether there would be an unacceptable impact on the amenity and operation of existing and surrounding uses;
- b) whether the proposal will result in a concentration of a particular use or uses that would be to the detriment of the centre's vibrancy, vitality or viability, and the wellbeing of the community;
- c) the contribution the proposal would make to the vibrancy, vitality and viability of the centre by way of increasing footfall or making use of a vacant unit; and
- d) the availability and suitability of other locations within the centre.

## **PROPOSED 2021 LOCAL DEVELOPMENT PLAN POLICIES**

### **Policy 1 – Creating Successful Places**

Inverclyde Council requires all development to have regard to the six qualities of successful places. In preparing and assessing development proposals, consideration must be given to the factors set out in Figure 2 and demonstrated in a design-led approach. Where relevant, applications will also be assessed against the Planning Application Advice Notes and Design Guidance for New Residential Development Supplementary Guidance. When assessing proposals for the development opportunities identified by this Plan, regard will also be had to the mitigation and enhancement measures set out in the Strategic Environmental Assessment Environmental Report.

### **Policy 12 – Managing Impact of Development on the Transport Network**

Development proposals should not have an adverse impact on the efficient operation of the transport and active travel network. Development should comply with the Council's roads development guidelines and parking standards, including cycle parking standards. Developers

are required to provide or financially contribute to improvements to the transport network that are necessary as a result of the proposed development.

### **Policy 20 – Residential Areas**

Proposals for development within residential areas will be assessed with regard to their impact on the amenity, character and appearance of the area. Where relevant, assessment will include reference to the Council's Planning Application Advice Notes Supplementary Guidance.

### **Policy 23 – Network of Centres Strategy**

The preferred locations for the uses set out in Schedule 5 are within the network of town and local centres identified in Schedule 6. Proposals which accord with the role and function of the network of centres as set out in Schedule 6 and the opportunities identified in Schedule 7 will be supported. Proposals for Schedule 6 uses outwith the network of centres or not conforming with the role and function of a particular centre will only be supported if it can be demonstrated that:

- a) there is not a suitable sequentially preferable opportunity;
- b) there will not be an unacceptable impact on the vibrancy, vitality or viability of other centres within the network of centres; and
- c) there are clear community or economic benefits that can be best achieved at the proposed location.

Proposals for Business (Class 4), residential and hotel uses will also be supported in town and local centres.

### **Policy 24 – Network of Centres Sui Generis Uses**

Proposals for the Sui Generis uses listed in Schedule 6 and any other Sui Generis uses proposed within the network of centres will be assessed with regard to:

- a) whether there would be an unacceptable impact on the amenity and operation of existing and surrounding uses;
- b) whether the proposal will result in a concentration of a particular use or uses that would be to the detriment of the centre's vibrancy, vitality or viability, and the wellbeing of the community;
- c) the contribution the proposal would make to the vibrancy, vitality and viability of the centre by way of increasing footfall or making use of a vacant unit; and
- d) the availability and suitability of other locations within the centre.

## **CONSULTATIONS**

**Head of Service – Roads and Transportation** – Comments were made as follows:

- The new use as a beauty salon falls under Class 1 Shops which requires 2 spaces per 100sqm. The GFA of the building is approx. 10sqm therefore this requires 1 space.
- The existing dwelling has 3no. bedrooms which requires 2 parking spaces, therefore the total requirement for parking is 3 spaces.
- The applicant should show they can meet this requirement.

## **PUBLICITY**

The nature of the proposal did not require advertisement.

## **SITE NOTICES**

The nature of the proposal did not require a site notice.

## **PUBLIC PARTICIPATION**

The application was the subject of neighbour notification. One neutral representation was received from the Kilmacolm Civic Trust. The Trust stated that they had no objection in principle to the proposal, however raised concerns about the parking requirements, noting that Orchard

Grove is a very small cul-de-sac. If clients choose to park as close as possible (a Kilmacolm Trait) to the house the immediate neighbouring residents could be adversely affected by obstructions to their own driveway.

## **ASSESSMENT**

The material considerations in determination of this application are the adopted Inverclyde Local Development Plan (LDP); the proposed Local Development Plan (LDP); the consultation response; and the representation received.

The application site is located within an established residential area where Policy 1 of the adopted LDP and Policies 1 and 20 of the proposed LDP apply. As the proposal is for a part change of use of the premises to a beauty salon (Sui Generis), which is identified under Schedule 6 of both LDPs as being a use which should be directed to the network of centres, Policies 22 and 24 of the adopted LDP and Policies 23 and 24 of the proposed LDP apply. Policy 11 of the adopted LDP and Policy 12 of the proposed LDP are also applicable as the application introduces a new use into the area, which has the potential to impact on traffic and parking on the surrounding road network.

Policy 22 of the adopted LDP and proposed LDP Policy 23 state that proposals which accord with the role and function of the network of centres as set out in Schedule 7 and the opportunities identified in Schedule 8 will be supported. Schedule 7 states that proposals for new Schedule 6 uses outwith the town and local centres shall not exceed 250 square metres in total. As the premises in question has a floor space of approximately 10 square metres, it can be considered an acceptable scale for a site outwith the recognised town and local centres. As the proposal is outwith the network of centres, it requires to be justified against the following criteria: (a) there is not a suitable sequentially preferable opportunity; (b) there will not be an unacceptable impact on the vibrancy, vitality or viability of other centres within the network of centres; and (c) there are clear community or economic benefits that can be best achieved at the proposed location.

Policy 24 of both LDPs indicates that proposals for sui generis uses identified in Schedule 6 require to be assessed against and have to satisfy, where appropriate, the following criteria: (a) whether there would be an unacceptable impact on the amenity and operation of existing and surrounding uses; (b) whether the proposal will result in a concentration of a particular use or uses that would be to the detriment of the centre's vibrancy, vitality or viability, and the wellbeing of the community; (c) the contribution the proposal would make to the vibrancy, vitality and viability of the centre by way of increasing footfall or making use of a vacant unit; and (d) the availability and suitability of other locations within the centre.

Policy 1 of both LDPs requires development to have regard to the six qualities of successful places and the relevant Planning Application Advice Notes Supplementary Guidance. There are no guidance notes relevant to this proposal. The relevant qualities in both Policy 1's are being 'Safe and Pleasant' by avoiding conflict with adjacent uses and minimising the impact of traffic and parking on the street scene and 'Welcoming' through integrating new development into existing communities and making buildings legible and easy to access. Policy 20 requires the proposal to be assessed with regard to its potential impacts on the amenity, character and appearance of the area.

In considering the impact on the effective operation of existing and surrounding uses (criterion (a) of Policy 24) and the impact on traffic and parking on the street scene, I note the concerns raised over potential parking conflicts in the representation received. In assessing this, I turn to the consultation response received from the Head of Service – Roads and Transportation. She has identified that the proposal would require an increase in the number of off-street parking spaces in the site from 2 to 3. The applicant advises that this increase is not able to be met within the site, however, states that around 70% of customers visit on foot and that space would be made available for those who may travel by car to park on the driveway within the site. Whilst this may lessen the impact of the proposal on traffic and parking on Orchard Grove, this solution is considered as unacceptable by the Head of Service – Roads and Transportation in terms of having an acceptable impact on traffic and parking on the street scene. As the



proposal fails to meet the required parking standards, it stands to be contrary to Policy 11 of the adopted LDP and Policy 12 of the proposed LDP and fails to meet the quality of being 'Safe and Pleasant' in this regard.

In assessing the impact of the proposal on the vibrancy, vitality and viability of nearby established town and local centres (criterion (b) of adopted LDP Policy 22, criterion (b) of proposed LDP Policy 23, and criteria (b) and (c) of Policy 24 of both LDPs), the proposal is sited within a residential area outwith any town and local centres and does not result in a concentration of a particular use or uses that would be detrimental to the nearby town centres, therefore it does not conflict with criterion (b) in any of the above Policies. Regarding criterion (c) of Policy 24, the proposal cannot be considered to make a positive contribution to the vibrancy, vitality and viability of nearby town centres as it would encourage customers using the beauty salon away from the nearby town centres, negatively impacting on footfall. The proposal also does not make use of a vacant unit within a town or local centre, therefore I consider the proposal fails to meet criterion (c) in Policy 24 of both LDPs. In terms of availability and suitability of other locations within the centre (criterion (a) of adopted LDP Policy 22, criterion (a) of proposed LDP Policy 23, and criterion (d) of Policy 24), I note the applicant's supporting statement, which acknowledges that the business previously operated in Kilmacolm town centre with two members of staff. Due to the outbreak of Covid and lockdowns the other staff left the business and it became no longer viable for the applicant to operate from the town centre unit. Whilst acknowledging the challenging circumstances which have resulted in a need to downsize the business, I note that the applicant has not provided any evidence that there is not a suitably sequentially preferable opportunity available in the nearby town centre which could accommodate a downsized version of the business. As the proposal is for a Schedule 6 use which is located outwith the network of centres, it conflicts with the requirements of criterion (a) of both adopted Plan Policy 22 and proposed Plan Policy 23.

In considering Policy 20 of the proposed LDP, the proposal has only resulted in internal works being carried out to the dwellinghouse, therefore the proposal raises no concerns in terms of visual impact on the appearance or character of the area. In considering neighbouring amenity, I note that the statement advises that the applicant operates as a sole trader and having visited the premises, I am satisfied that no other parties will be working from within the premises. Notwithstanding this, the beauty salon business will generate a level of commercial activity from visiting customers, extending into the evening on certain days, which is not normally to be expected within a residential curtilage situated within a wider residential area. I consider that the use of the garage as a beauty salon which can, in effect, operate independently from the dwellinghouse, could bring a level of activity not typically associated with a dwellinghouse and could result in an unexpected feature within a residential curtilage and accordingly has the potential to cause undue disturbance to neighbouring amenity. Furthermore, once a permission for a part change of use is established there would be no control on the intensity level of the business or who was operating it. The use of the garage as a beauty salon cannot therefore be considered to fully accord with Policy 20 of the proposed LDP.

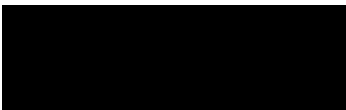
In conclusion, the use of the outbuilding as a beauty salon conflicts with Policies 11, 22 and 24 of the adopted LDP and Policies 12, 20, 23 and 24 of the proposed LDP. Whilst I note the applicant's wish to operate the business in a way that suits family life, this cannot be at the expense of neighbouring residential amenity. The premises has extensive opening hours and there is nothing to suggest why it cannot operate from a suitable small town or local centre location. Section 25 of the Town and Country Planning (Scotland) Act 1997 requires that planning applications are determined in accordance with the Local Development Plan unless material considerations indicate otherwise. Whilst I am mindful of the supporting statement, inclusive of letters of support, there are no material planning considerations which suggest that planning permission should be granted contrary to the relevant policies in the adopted and proposed Local Development Plans. As such I am unable to support the application.

## **RECOMMENDATION**

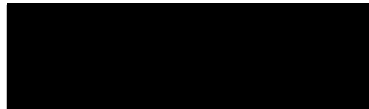
That the application be refused for the following reasons:

1. The proposal conflicts with criterion (c) in Policy 24 of the Inverclyde Local Development Plan, as it would encourage customers using the beauty salon away from nearby town centres, negatively impacting on footfall and it does not make use of a vacant unit within the town centre.
2. The proposal fails to demonstrate that there are no suitable sequentially preferable opportunities available in the nearby town and local centres, therefore it fails to meet the requirements of Policy 22 of the Inverclyde Local Development Plan and Policy 23 of the proposed Inverclyde Local Development Plan.
3. The proposal fails to provide the required number of parking spaces required to meet the Council's roads parking standards and therefore is contrary to Policy 11 of the Inverclyde Local Development Plan and Policy 12 of the proposed Inverclyde Local Development Plan.
4. The proposal would result in a commercial facility operating within the heart of a residential area with customer movements above and beyond those associated with the normal movements associated with a dwellinghouse which could be detrimental to residential amenity and the proposal is thus contrary to Policy 20 of the proposed Inverclyde Local Development Plan.

Signed:



David Sinclair  
Case Officer



Mr Stuart W Jamieson  
Interim Service Director  
Environment & Economic Recovery

## **4. INVERCLYDE LOCAL DEVELOPMENT PLAN 2019 POLICY EXTRACTS**

## 3.0 CREATING SUCCESSFUL PLACES

### Introduction

**3.1** Inverclyde has many fantastic and unique places. Examples include the Free French Memorial and Lyle Hill, which offer panoramic views over the Firth of Clyde; Quarriers Village, built in the 19<sup>th</sup> century as an orphans' village and filled with individually designed homes of that period; the A-listed Edwardian Wemyss Bay railway station; and the grid-pattern Greenock West End conservation area, which is contained to the north by the popular Greenock Esplanade. These, and other places, have stood the test of time and remain places where people want to live and visit.

**3.2** The Council is keen to have more successful places in Inverclyde, and all new development will be expected to contribute to creating successful places. This is particularly important in relation to the Plan's Priority Projects and Priority Places, which reflect major Council investments and the larger scale regeneration opportunities in Inverclyde.

### Creating Successful Places

**3.3** The Council is keen that all development contributes to making Inverclyde a better place to live, work, study, visit and invest. To differing degrees, all scales and types of development have the potential to make an impact on the surrounding environment and community. It is important to the Council that this impact is a positive one. To this end, the Council will have regard to the six qualities of a successful place when considering all development proposals.

**Distinctive**

**Adaptable**

**Resource Efficient**

**Easy to Move Around**

**Safe and Pleasant**

**Welcoming**

**3.4** **Figure 3** illustrates the factors that contribute to the six qualities of a successful place. Not all will be relevant to every development proposal and planning application, but where they are, the Council will expect development proposals to have taken account of them, and it will have regard to them in the assessment of planning applications.



Quarriers Village

### POLICY 1 – CREATING SUCCESSFUL PLACES

Inverclyde Council requires all development to have regard to the six qualities of successful places. In preparing development proposals, consideration must be given to the factors set out in Figure 3. Where relevant, applications will also be assessed against the Planning Application Advice Notes Supplementary Guidance.



Wemyss Bay Railway Station

FIGURE 3: Factors Contributing to Successful Places



## Managing the Impact of Development on the Transport Network

**5.7** Development proposals should not have an adverse impact on the efficient operation of the transport and active travel network. In order to identify any potential capacity issues on the strategic road network (i.e. A8 & A78), the Council consulted Transport Scotland on the development opportunities identified in the Plan. The Council subsequently completed a high level impact appraisal of several large scale development proposals along the A78 in consultation with Transport Scotland, which concluded there will not be a significant cumulative impact on the trunk road network as a result of the Plan's proposals. Mitigation measures may still be required, including for the rail network, as a result of individual developments coming forward and these can be determined through the Transport Assessment process.

**5.8** To ensure that the road network continues to operate efficiently, the Council has standards in place for road development and parking, which new development is expected to comply with. This may require additional improvements to the transport network outwith the actual development site. Where this is the case, developers will be required to meet these costs.

### POLICY 11 – MANAGING IMPACT OF DEVELOPMENT ON THE TRANSPORT NETWORK

Development proposals should not have an adverse impact on the efficient operation of the transport and active travel network. Development should comply with the Council's roads development guidelines and parking standards. Developers are required to provide or contribute to improvements to the transport network that are necessary as a result of the proposed development.

#### Air Quality

**5.9** As at 2018, Inverclyde does not have any Air Quality Management Areas or an air pollution reduction strategy. It does have busy transport corridors that can occasionally be congested where air quality is monitored. Some developments can directly affect air quality or change travel patterns in such a way that air quality is affected. In these instances the Council will expect an Air Quality Assessment to be undertaken and mitigation measures to be implemented.

### POLICY 12 – AIR QUALITY

Development that could have a detrimental impact on air quality, or would introduce a sensitive receptor to an area with poor air quality, will be required to be accompanied by an Air Quality Assessment, which identifies the likely impacts and sets out how these will be mitigated to an acceptable level.

#### Communications Infrastructure

**5.10** Inverclyde has good digital connectivity, with 4G mobile and superfast broadband coverage available across the majority of the area. This is of benefit to the economy and social networks and contributes towards it being an attractive place to live and invest.

### POLICY 13 – COMMUNICATIONS INFRASTRUCTURE

The Council will support new digital communication infrastructure where it is sited to avoid adverse impact on: the streetscape; the amenity and operations of existing and adjacent uses; our natural and open spaces; and historic buildings and places.



Western Ferry, Gourock

## 8.0 OUR TOWN AND LOCAL CENTRES

### Introduction

**8.1** Inverclyde is well served by a network of town and local centres offering a range of shops and services in easily accessible locations. These centres also serve important civic, cultural, commercial and leisure functions, and are important employment locations.

**8.2** Greenock is the largest town centre drawing visitors from across the authority area and beyond. It is identified as a Strategic Centre in the Clydeplan Strategic Development Plan. It offers Inverclyde's largest concentration and selection of food and non-food shopping, and a wide range of non-retail services and businesses such as a cinema, the Waterfront Leisure Centre, the McLean Museum and Art Gallery, the Beacon Arts Centre, the Greenock West College Scotland campus and a number of restaurants, pubs and nightclubs that provide evening activity. It is also an important employment hub, with a number of large offices located there. In this and previous Plans, Greenock is recognised as having a Central Area, which is the main focus for shopping activity, and an Outer Area, which is more service orientated.

**8.3** Port Glasgow town centre's role has changed in recent years from mainly convenience shopping for the town's residents to offering large format food and non-food shopping that draws shoppers from across Inverclyde.

**8.4** Gourock serves as a convenient centre for the residents of the town and to travellers and commuters making use of the ferry connections to Argyll and Bute. Its waterfront location, traditional format and concentration of independent shops and cafes mean that it also attracts day visitors from across Inverclyde and beyond. It has benefitted from recent investment in its railway station, road network and parking facilities, and from environmental improvements along the waterfront and at the pierhead.

**8.5** Local centres range from the traditional village centre of Kilmacolm, which has an attractive mix of independent traders, to the modern purpose-built local centre in Inverkip. All local centres have an important role in providing convenient services and a community focus.

### Network of Centres Strategy

**8.6** Together, our town and local centres form a network with each centre serving a specific purpose and community. The Plan seeks to manage development within and outwith these centres so that they continue to complement each other for the benefit of the whole area, whilst offering healthy competition for the benefit of customers. It does this by directing appropriate uses to the network of centres in preference to other locations and by controlling development that would have an unacceptable impact on centres within the network. This is consistent with the 'sequential approach' set out in paragraph 68 of Scottish Planning Policy. The Plan recognises and seeks to safeguard Greenock as the main town centre within Inverclyde. Residential development is encouraged within the network of centres as it contributes to footfall, activity and security.

### POLICY 22 – NETWORK OF CENTRES STRATEGY

The preferred locations for the uses set out in Schedule 6 are within the network of town and local centres identified in Schedule 7. Proposals which accord with the role and function of the network of centres as set out in Schedule 7 and the opportunities identified in Schedule 8 will be supported. Proposals for Schedule 6 uses outwith the network of centres or not conforming with the role and function of a particular centre will only be supported if it can be demonstrated that:

- a) there is not a suitable sequentially preferable opportunity;
- b) there will not be an unacceptable impact on the vibrancy, vitality or viability of other centres within the network of centres; and
- c) there are clear community or economic benefits that can be best achieved at the proposed location.

Proposals for Business (Class 4), residential and hotel uses will also be supported in town and local centres.

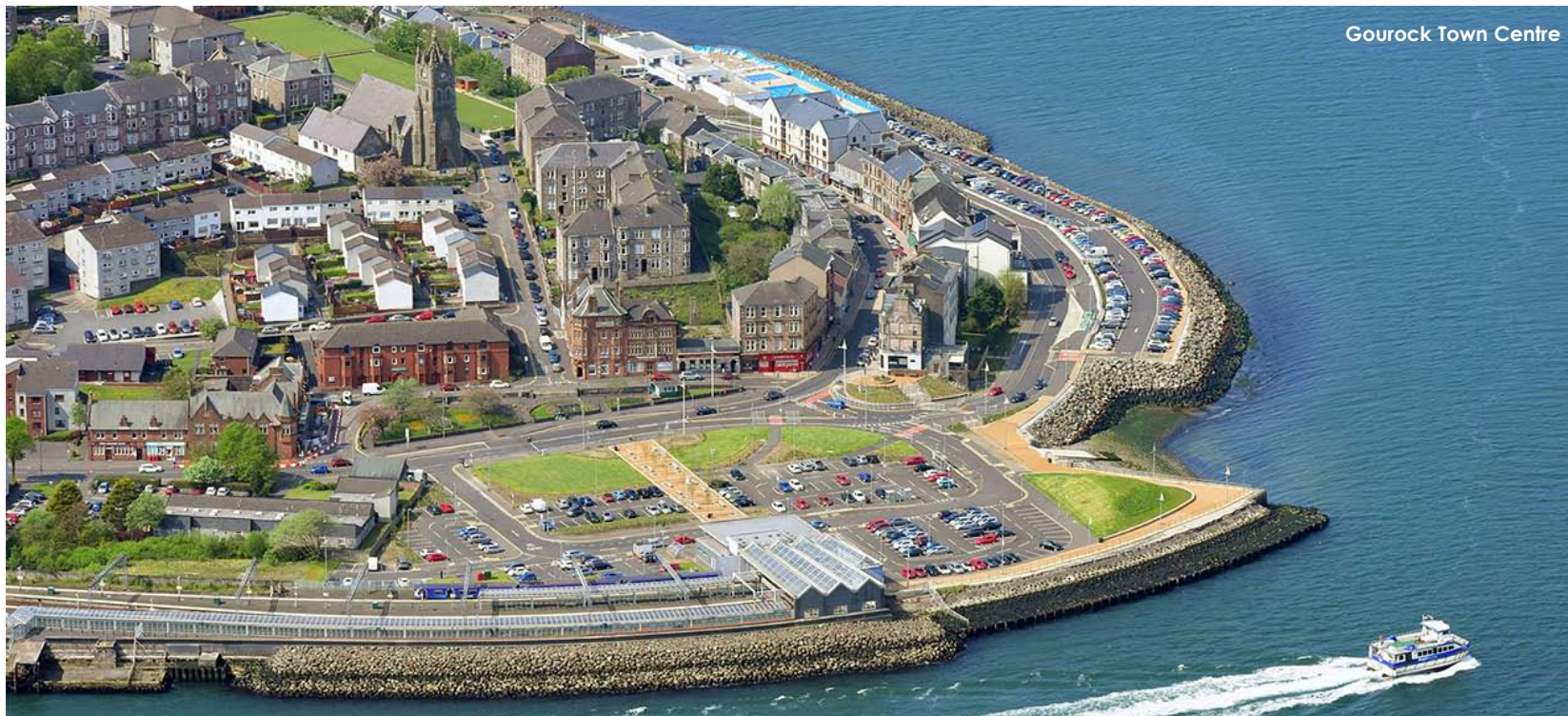
## Network of Centres Sui Generis uses

**8.8** Inverclyde's town and local centres are home to a wide variety of uses. Their central locations and high level of passing trade make them an obvious place for commercial businesses to locate. The Use Class Order (1997) divides different types of land and property uses into different classes, and sets out when planning permission is needed to allow changes of use between the different classes. Some of the Use Classes relate to uses that would normally be found in town and local centres, such as Shops and Food & Drink. Other uses are known as *sui generis* (meaning 'of its own kind') and do not sit within a particular Use Class. These are often uses which the planning system seeks to keep a tighter control on for reasons of amenity or well-being.

## POLICY 24 – NETWORK OF CENTRES SUI GENERIS USES

Proposals for the Sui Generis uses listed in Schedule 6 will be assessed with regard to:

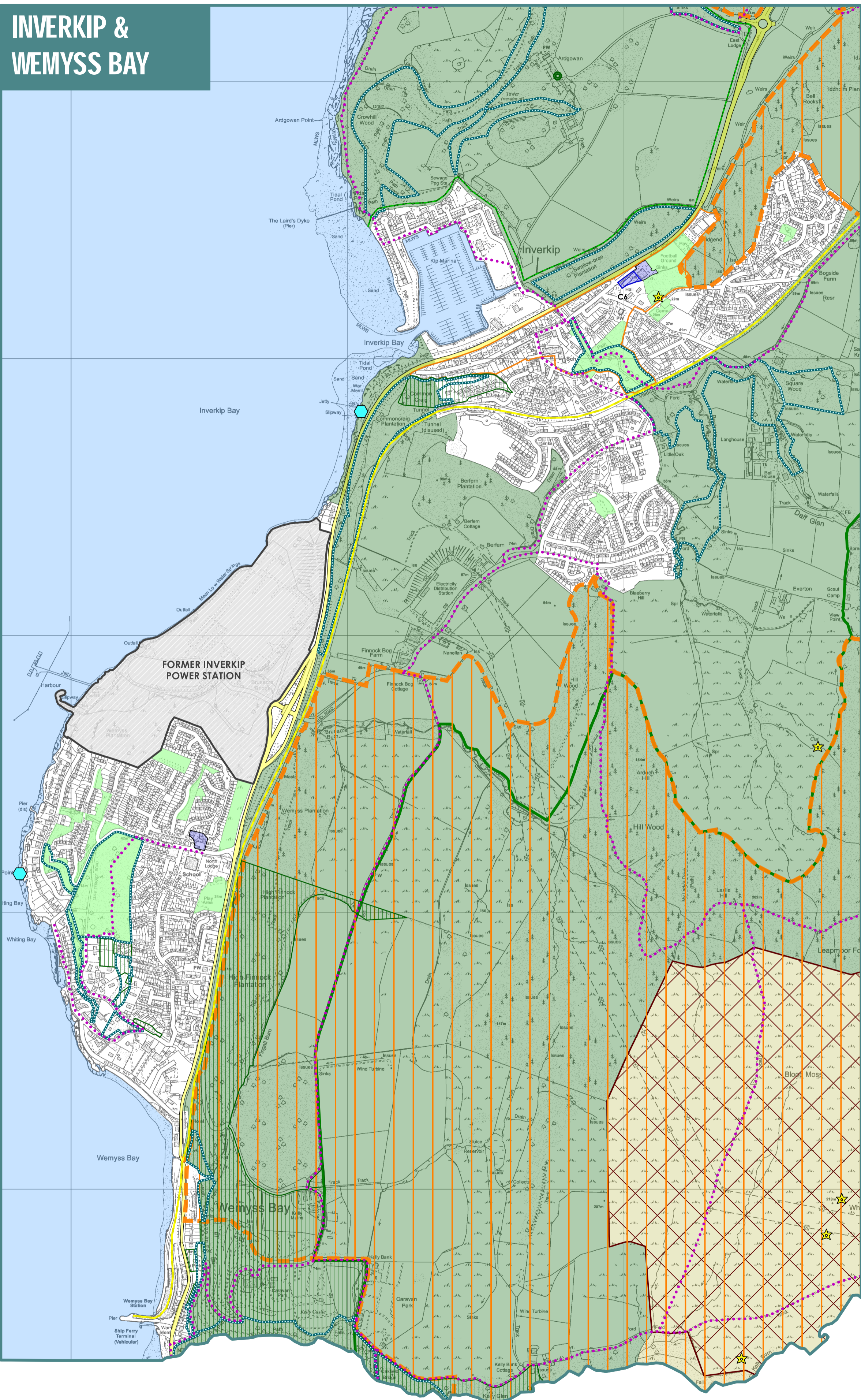
- a) whether there would be an unacceptable impact on the amenity and operation of existing and surrounding uses;
- b) whether the proposal will result in a concentration of a particular use or uses that would be to the detriment of the centre's vibrancy, vitality or viability, and the wellbeing of the community;
- c) the contribution the proposal would make to the vibrancy, vitality and viability of the centre by way of increasing footfall or making use of a vacant unit; and
- d) the availability and suitability of other locations within the centre.





## **5. INVERCLYDE LOCAL DEVELOPMENT PLAN 2019 MAP EXTRACT**

# INVERKIP & WEMYSS BAY



## KEY

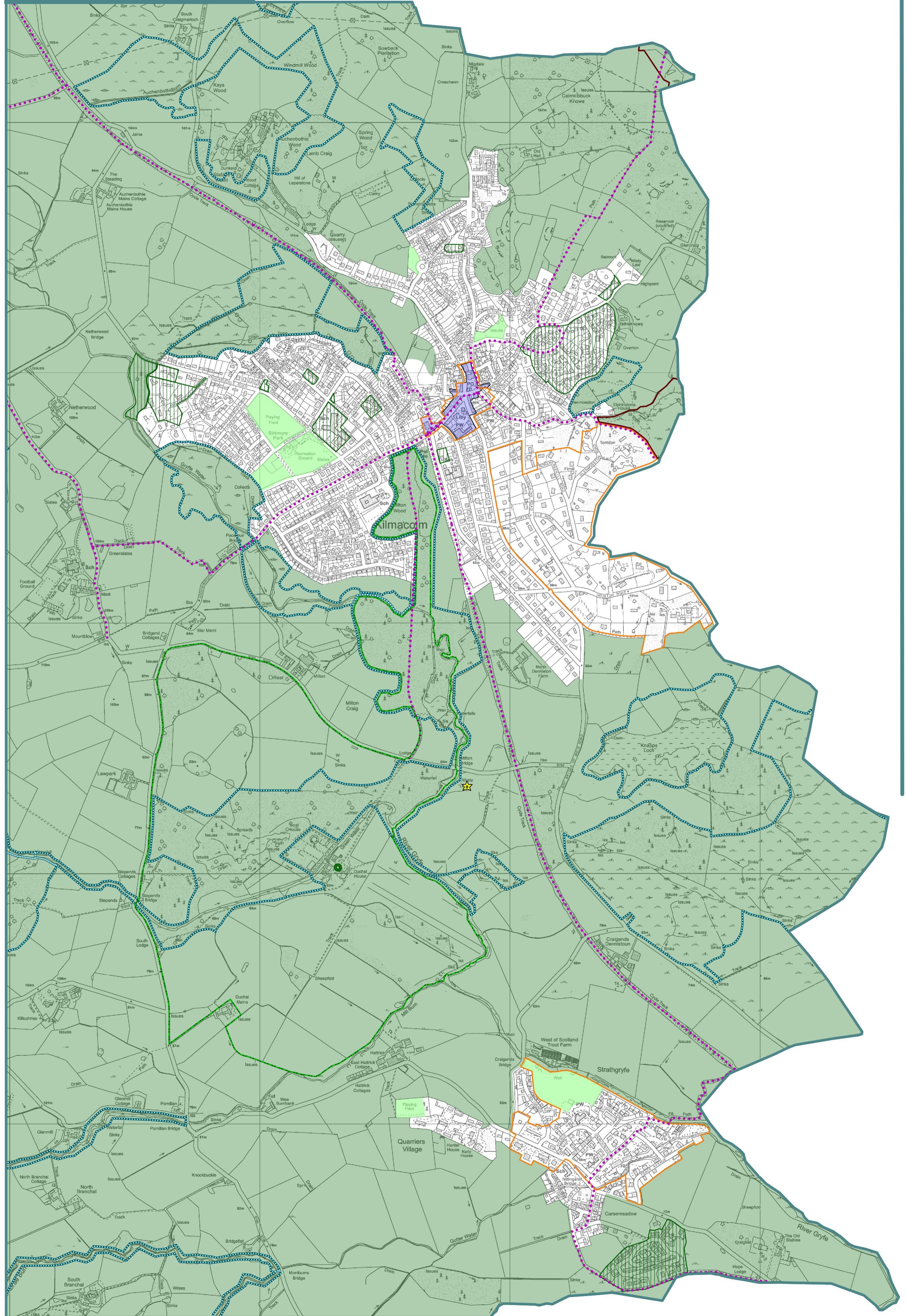
- SUSTAINABLE DEVELOPMENT STRATEGY**
- Priority Place POLICY 3
- CONNECTING PEOPLE AND PLACES**
- Trunk Road POLICY 11
- Railway POLICY 11
- SPATIAL DEVELOPMENT STRATEGY**
- Green Belt POLICIES 14 & 19
- Countryside POLICIES 14 & 19
- OUR TOWN AND LOCAL CENTRES**
- Town Centre / Local Centre POLICY 22
- Network of Centres Opportunity POLICY 22
- OUR JOBS AND BUSINESSES**
- Business & Industrial Area POLICY 25
- Business & Industrial Development Opportunity POLICY 26
- OUR HISTORIC BUILDINGS AND PLACES**
- Conservation Area POLICY 28
- Scheduled Monument POLICY 31
- Gardens & Designed Landscapes POLICY 32
- OUR NATURAL AND OPEN SPACES**
- Special Protection Area / Ramsar Site POLICY 33
- Site of Special Scientific Interest POLICY 33
- Local Nature Conservation Site POLICY 33
- Local Nature Conservation Site (Geological) POLICY 33
- West Renfrew Hills Local Landscape Area POLICY 33
- Tree Preservation Order POLICY 34
- Open Space POLICY 35
- Clyde Muirshiel Regional Park POLICY 37
- Core Path POLICY 38
- River Clyde / Firth of Clyde

Inverclyde council SCALE 1:10,000

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# KILMACOLM & QUARRIERS VILLAGE



## **6. REPRESENTATION IN RELATION TO PLANNING APPLICATION**

## Laura Graham

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**From:** David Sinclair  
**Sent:** 28 July 2021 16:58  
**To:** Laura Graham  
**Subject:** FW: (No Classification) Planning Application 21/0195/IC: Kilmacolm Civic Trust Comment

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Classification: No Classification

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**From:** Nicol Cameron [REDACTED]  
**Sent:** 26 July 2021 09:58  
**To:** Stuart Jamieson <[Stuart.Jamieson@inverclyde.gov.uk](mailto:Stuart.Jamieson@inverclyde.gov.uk)>; Devcont Planning <[devcont.planning@inverclyde.gov.uk](mailto:devcont.planning@inverclyde.gov.uk)>  
**Subject:** Planning Application 21/0195/IC: Kilmacolm Civic Trust Comment

**From:** Mr R.N. Cameron (Chairman Kilmacolm Civic Trust)

**To:** Mr Stuart Jamieson (Head of Regeneration and Planning)

Dear Mr Jamieson.

### **KILMACOLM CIVIC TRUST COMMENT ON**

### **PLANNING APPLICATION 21/0195/IC - 4 ORCHARD GROVE, KILMACOLM**

The 15 members of the Kilmacolm Civic Trust Executive Committee have considered this application.

### **COMMENT**

- **NO OBJECTION in principle**
- **However,**
  - We are concerned about the parking arrangements.
  - Orchard Grove is a very small Cul-de-Sac. If clients choose to park as close as possible (a Kilmacolm Trait) to the house the immediate neighbouring residents will be very put-out if they or their visitors are blocked from parking in their own driveway.
  - The solution would be:
    - **Either,** that a very clearly designated space is made in the 4 Orchard Grove driveway for business clients. But that would prevent genuine private visitors to 4 Orchard Grove from parking in the driveway.
    - **Or, better,** that an agreement is made with clients that they do not park within the cup-de-sac. Carruth Drive is not a busy road and offers ample opportunity for clients to park their cars. It is only a very short walk from there to 4 Orchard Grove.

Yours Sincerely,

***Nicol Cameron***

(Mr R.N. Cameron - Chairman Kilmacolm Civic Trust)

**7. DECISION NOTICE DATED 22 OCTOBER 2021  
ISSUED BY HEAD OF REGENERATION &  
PLANNING**

# DECISION NOTICE

## *Refusal of Planning Permission*

Issued under Delegated Powers

**Regeneration and Planning  
Municipal Buildings  
Clyde Square  
Greenock PA15 1LY**

**Planning Ref: 21/0195/IC**

*Online Ref: 100433718-001*

***TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997  
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)  
(SCOTLAND) REGULATIONS 2013***

**Ms Claire Clarke  
4 Orchard Grove  
KILMACOLM  
PA13 4HQ**

**Bryce Boyd Planning Solutions  
Bryce Boyd  
Ellersleigh  
Castlehill Road  
KILMACOLM  
PA13 4EL**

With reference to your application dated 1st July 2021 for planning permission under the above mentioned Act and Regulation for the following development:-

**Change of use of part of domestic garage to beauty salon (sui generis) at**

**4 Orchard Grove, Kilmacolm.**

**Category of Application: Local Application Development**

The INVERCLYDE COUNCIL in exercise of their powers under the abovementioned Act and Regulation hereby refuse planning permission for the said development.

The reasons for the Council's decision are:-

1. The proposal conflicts with criterion (c) in Policy 24 of the Inverclyde Local Development Plan, as it would encourage customers using the beauty salon away from nearby town centres, negatively impacting on footfall and it does not make use of a vacant unit within the town centre.
2. The proposal fails to demonstrate that there are no suitable sequentially preferable opportunities available in the nearby town and local centres, therefore it fails to meet the requirements of Policy 22 of the Inverclyde Local Development Plan and Policy 23 of the proposed Inverclyde Local Development Plan.
3. The proposal fails to provide the required number of parking spaces required to meet the Council's roads parking standards and therefore is contrary to Policy 11 of the Inverclyde Local Development Plan and Policy 12 of the proposed Inverclyde Local Development Plan.
4. The proposal would result in a commercial facility operating within the heart of a residential area with customer movements above and beyond those associated with the normal movements associated with a dwellinghouse which could be detrimental to residential amenity and the proposal is thus contrary to Policy 20 of the proposed Inverclyde Local Development Plan.

The reason why the Council made this decision is explained in the attached Report of Handling.

Dated this 22nd day of October 2021



**Mr Stuart W. Jamieson**  
**Interim Service Director**  
**Environment and Economic Recovery**

- 1 If the applicant is aggrieved by the decision of the Planning Authority to refuse permission for or approval required by condition in respect of the proposed development, or to grant permission or approval subject to conditions, he may seek a review of the decision within three months beginning with the date of this notice. The request for review shall be addressed to The Head of Legal and Administration, Inverclyde Council, Municipal Buildings, Greenock, PA15 1LY.
- 2 If permission to develop land is refused or granted subject to conditions, and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, he may serve on the planning authority a purchase notice requiring the purchase of his interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997

**Refused Plans: Can be viewed Online at <http://planning.inverclyde.gov.uk/Online/>**

Drawing No:	Version:	Dated:
100054135		23.06.2021
01 PL		
Photo		



**8. NOTICE OF REVIEW FORM DATED 12 JANUARY  
2022 WITH SUPPORTING STATEMENT FROM  
BRYCE BOYD PLANNING SOLUTIONS**

Municipal Buildings Clyde Square Greenock PA15 1LY Tel: 01475 717171 Fax: 01475 712 468 Email: devcont.planning@inverclyde.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100519921-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant  Agent

## Agent Details

Please enter Agent details

Company/Organisation:	bryce boyd planning solutions		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	bryce	Building Name:	ellersleigh
Last Name: *	boyd	Building Number:	
Telephone Number: *	01505874489	Address 1 (Street): *	castlehill road
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	kilmacolm
Fax Number:		Country: *	UK
		Postcode: *	pa13 4el
Email Address: *	bboydplanning@aol.com		

Is the applicant an individual or an organisation/corporate entity? \*

Individual  Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Ms"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="claire"/>	Building Number:	<input type="text" value="4"/>
Last Name: *	<input type="text" value="clarke"/>	Address 1 (Street): *	<input type="text" value="orchard grove"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="kilmacolm"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="uk"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="pa13 4hq"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="REDACTED"/>		

## Site Address Details

Planning Authority:	<input type="text" value="Inverclyde Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="4 ORCHARD GROVE"/>
Address 2:	<input type="text"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="KILMACOLM"/>
Post Code:	<input type="text" value="PA13 4HQ"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="669855"/>	Easting	<input type="text" value="235473"/>
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## Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: \*  
(Max 500 characters)

change of use of part of domestic garage to beauty salon (sui generis)

## Type of Application

What type of application did you submit to the planning authority? \*

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? \*

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

## Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: \* (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

see attached grounds of appeal

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? \*

Yes  No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: \* (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: \* (Max 500 characters)

grounds of appeal plus productions 1-6

## Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

21/0195/IC

What date was the application submitted to the planning authority? \*

01/07/2021

What date was the decision issued by the planning authority? \*

22/10/2021

## Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. \*

Yes  No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? \*

Yes  No

Is it possible for the site to be accessed safely and without barriers to entry? \*

Yes  No

## Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. \*

Yes  No

Have you provided the date and reference number of the application which is the subject of this review? \*

Yes  No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? \*

Yes  No  N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? \*

Yes  No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review \*

Yes  No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

## **Declare – Notice of Review**

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr bryce boyd

Declaration Date: 12/01/2022



## TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997

### GROUNDINGS OF APPEAL

#### **SUBMISSION AGAINST REFUSAL OF PLANNING PERMISSION BY INVERCLYDE COUNCIL FOR CHANGE OF USE OF PART OF DOMESTIC GARAGE TO BEAUTY SALON (SUI GENERIS) AT 4 ORCHARD GROVE KILMACOLM**

**PLANNING REF: 21/0195/IC**

#### **1.0 INTRODUCTION**

- 1.1 In July 2021 a Planning Application was submitted to Inverclyde Council for Planning Permission for the change of use of part of a domestic garage to a beauty salon at 4 Orchard Grove, Kilmacolm.
- 1.2 The Planning Application was accompanied by a Supporting Statement outlining the history of the business and the background to the Planning Application including the exceptional circumstances leading to the use of the garage area for the provision of beauty services. The Application was also accompanied by a number of letters of support pertaining to the Planning Application.

*Production 1 - Supporting Statement*

*Production 2 - Letters of Support 1*

*Production 3 - Letters of Support 2*

- 1.3 On 22 October 2021 Inverclyde Council issued a Decision Notice in respect of the Planning Application refusing planning permission on the following grounds.
  1. The proposal conflicts with criterion (c) in Policy 24 of the Inverclyde Local Development Plan, as it would encourage customers using the beauty salon away from nearby town centres, negatively impacting on footfall and it does not make use of a vacant unit within the town centre.
  2. The proposal fails to demonstrate that there are no suitable sequentially preferable opportunities available in the nearby town and local centres, therefore it fails to meet the requirements of Policy 22 of the Inverclyde Local Development Plan and Policy 23 of the proposed Inverclyde Local Development Plan.

3. The proposal fails to provide the required number of parking spaces required to meet the Council's road parking standards and therefore contrary to Policy 11 of the Inverclyde Local Development Plan and Policy 12 of the proposed Inverclyde Local Development Plan.
4. The proposal would result in a commercial facility operating in the heart of a residential area with customer movements above and beyond those associated with the normal movements associated with a dwellinghouse which could be detrimental to residential amenity and the proposal is thus contrary to Policy 20 of the proposed Inverclyde Local Development Plan

#### ***Production 4 – Decision Notice***

- 1.4 The Decision Notice was accompanied by the Report of Handling prepared in respect of the Planning Application which outlines the justification for the Refusal of Planning Permission.

#### ***Production 5 – Report of Handling***

### **2.0 HISTORY**

- 2.1 The background and history to this Planning Application was detailed in the Supporting Statement submitted together with the Application, see Production 1.
- 2.2 The Statement outlined that the Applicant had in fact operated a beauty salon business, Beautique, in the village centre of Kilmacolm since 2007. The shop unit was located in the centre of the village on Lochwinnoch Road and employed two members of staff in addition to the Applicant.
- 2.3 With the outbreak of Covid in early 2020 and trade closing down for some months, the two staff members were lost to the business. In September 2020, the Applicant restarted the business on her own under all the new regulations and operated on this much reduced basis until the second lockdown in December. During all of this time rental had to be paid on the property and with the second lockdown, it became completely unviable to continue with the business at these premises.
- 2.4 The clientele of the salon are almost all from the local area and are former clients of the shop premises. Considerable support for the current operation exists amongst these clients from the local community as is demonstrated in the letters of support submitted with the Planning Application (See Productions 1 & 2)



### **3.0 THE APPEAL SITE AND PROPOSED DEVELOPMENT**

- 3.1 The Appeal site is located at the end of a short cul-de-sac and comprises part of the former garage of the dwelling which is integral to the dwelling. There is no internal link between the dwelling and the former garage area. In addition to the former garage, two additional parking spaces are available on the driveway leading to the house.
- 3.2 Part of the former garage has been converted to provide a bespoke area where limited beauty treatment may be carried out safely and in compliance with Covid 19 regulations.
- 3.3 The hours of operation are Monday to Friday 9.15 until 14.30 and two evenings per week between 17.00 and 19.00. All appointments are made on line and no walk in appointments are available. There is a one-in/one-out system in place and never more than one client on the premises at any one time. The vast majority of the clients arrive at the premises on foot. Off street parking provision is available for the few clients arriving by car.
- 3.4 Although the hours of operation are as detailed above the normal level of trade is 3 to 4 clients per day each lasting between 45 minutes and one hour and there is a minimum of 15 minutes between appointments to enable the area to be cleaned and sanitised prior to the next appointment.

### **4.0 GROUNDS OF APPEAL**

- 4.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires that applications be determined in accordance with the Development Plan unless material considerations indicate otherwise.
- 4.2 In refusing planning permission, the Interim Service Director, Environment and Economic Recovery has indicated that proposal is contrary to a number of the Policies of the Inverclyde Local Development Plan.
- 4.3 It is submitted that the Supporting Statement, Production 1, submitted together with the Planning Application, clearly outlined the Material Considerations pertaining to this Application which provides more than ample justification, given the extenuating circumstances, for granting Planning Permission in this instance in terms of Section 25 of the Planning Act referred to above.

### **5.0 ANALYSIS OF GROUNDS OF REFUSAL IN RESPECT OF THE DEVELOPMENT PLAN AND OTHER MATERIAL CONSIDERATIONS**

- 5.1 As outlined above, the Planning Authority has indicated that the reason for refusing planning permission is based on the fact that the proposal is in respect

- of a commercial operation in a residential area and that such uses should be based in the village centre. The reasons for refusal go on to indicate that the business will generate additional activity in the residential area and will detract from the amenity of the area by introducing this additional activity. Lastly, it is suggested by the Planning Authority that there is a lack of off street parking facilities and as such may lead to problems with residential parking in this area.
- 5.2 As outlined in the Supporting Statement, Production 1, which accompanied the Planning Application the Appellant operated a Beauty Salon from a shop in the centre of Kilmacolm since 2007, some thirteen years before the pandemic struck. After the first lockdown, the business was re-started from the shop; however with the second lockdown in December 2020 it became financially unviable to continue to operate from these rented premises.
- 5.3 The decision to commence the operation offering a much reduced service from the former garage area was started, very much as a result of requests from former clients from the provision of such a service for the residents of Kilmacolm. As outlined above, and detailed in the supporting statement 90% of the clients of the business are residents of Kilmacolm. This indicates a strong support and trust for the service provided by the Appellant from the local community (See Productions 1 & 2).
- 5.4 As outlined in the original Planning Application, the current service provided by the business is at a much reduced level to that which was previously provided from the shop premises in the village centre. The shop provided a full service of beauty treatments including body massage, body treatments, facial treatments, lash treatments, spray tanning, nails waxing etc.
- 5.5 The very modest service provided from the current premises is restricted to nail and brow treatments. The current premises comprise part of the former garage area of the house, the total area being only some 10 square metres. This equates to the size of a small bedroom.
- 5.6 As detailed above some, 90% of the clients visiting the premises live in Kilmacolm and the vast majority of these clients arrive at the premises by foot, some 70% (see Production 1). Almost all of these clients are long established customers of the beauty salon and have been making use of the facilities offered over a period extending back over ten years.
- 5.7 It is further worth noting that it was these clients who requested that the Appellant continued to provide this type of service within the village, after having been forced to close owing to the Covid outbreak, to save them having to travel some distance to access similar facilities and continue to support a trusted local business during these very challenging times for locally owned and operated businesses.
- 5.8 The first ground of refusal indicates that the proposal encourages to customers using the beauty facilities away from the nearby centre and has a negative

- impact on footfall at the town centre and does not make use of a vacant unit in the town centre.
- 5.9 As detailed above, the service offered by the Appellant is not a full beauty salon service and is now restricted to nails and brows. The number of people making use of this facility is very modest, on average only twenty per week. This can hardly be judged as having a negative impact on the viability of the village centre.
- 5.10 Additionally, to my client's knowledge, and from investigating the availability of commercial premises within the village centre, there are no retail units of 10 sq. metres on the market, this being the area currently used by my client in her garage area.
- 5.11 The second ground of refusal indicates that the Applicant has failed to demonstrate that there are no suitable opportunities available in nearby town centres and local centres for the provision of this service.
- 5.12 In response, the Appellant was at no time requested by the planning officials to provide this information to the Planning Authority to support her Planning Application. Had she been asked to do so then it would have been very swiftly established that there are no commercial premises of some 10 sq. metres available in the village to provide the service currently provided.
- 5.13 The third reason for refusal relates to the number of parking spaces required to meet the Roads Sections requirements in terms of off street car parking, the roads officials having indicated that 2 spaces are required for the dwelling and 1 space for the business.
- 5.14 The Appellant was asked to clarify the parking arrangements in respect of the proposal by the planning officials and her response, which I submitted on her behalf was as follows:

*"I have now heard back from my client in respect of your recent email.*

*She confirms that the driveway at the house can accommodate only two parked vehicles, and additionally has asked me to confirm to the Council that the arrangements for parking at the premises are detailed in the Supporting Statement submitted with the application.*

*The Statement indicated that the vast majority, some 70% of her clients, arrive at the premises by foot. For the limited number who arrive by car there is always room in the driveway for parking as the only car parked there during the week days is her own car. On the limited occasion when she is working in the evenings her partner leaves his car at his business address and is therefore not in the driveway.*

*I trust that the above clarifies the situation in respect of the comments from your colleagues in the Roads Section."*

- 5.15 As can be seen clearly from the above statement, the vast majority of clients arrive at the premises by foot and for the few who do arrive by car, there is adequate off-street parking available for their use.
- 5.16 The final reason for refusal indicates that the commercial facility operating within a residential area would lead to customer movements above and beyond those associated with a dwelling house and be detrimental to residential amenity.
- 5.17 As has previously been detailed above, the very limited operation at the premises generates an extremely modest level of additional movements within the residential area owing to the restricted service being offered and the fact this it is offered on a one to one basis. The nature of the business also ensures that there is no issue of any noise or disturbance emanating from the premises.
- 5.18 It is also worth noting, in regard to this ground of refusal, that the activity generated by the Appellant's business is far less than the two pre and after school clubs which operate from residential properties with this general area and the dog grooming business which again is operating from a residential property in this part of Kilmacolm.
- 5.19 It is submitted that these other business activities cause a far greater degree of disturbance and loss of amenity to the residential area, caused by volume of movements and noise, than the Appellant's business.
- 5.20 It should also be noted that some aspects of the analysis of the proposal contained in the Assessment Section of the Report of handling, Production 5 do not reflect the reality of the options open to the Planning Authority in dealing with this Planning Application.
- 5.21 In his analysis of the proposed development in terms of Policy 20 of the Proposed Local Development Plan, the Interim Service Director Environment & Economic Recovery indicates that:
- "Furthermore, once a permission for a part change of use is established there would be no control on the intensity level of the business or who was operating it."*
- 5.22 It is submitted that this analysis of the powers available to the Planning Authority is to say the least, misleading and not entirely accurate.
- 5.23 The intensity of the level of use of the activity at the site is controlled by the size of the facility available. As outlined above the treatment area covers on area of only 10 sq. metres and any increase in this area to provide additional facilities would require the benefit of the approval of a further Planning Application.
- 5.24 Also, as outlined above, it is clearly stated in the Supporting Statement, Production 1, that only one person is permitted at the premises at any one

time. This aspect could, if required, be enforced by the Planning Authority by the use of a condition.

- 5.25 Additionally, if the Planning Authority has concerns in respect of the intensity of the business, this could be controlled further by the use of a condition restricting the hours of operation of the business to ensure that the amenity of the surrounding residential area was not compromised.
- 5.26 Lastly, in regard to the statement that there would be no control in respect of who was operating the business, it would be completely in accord with National Advice for the Planning Authority to impose a further condition restricting the use of the premises to the Applicant. The Planning Permission would therefore be a personal condition and only be valid for the use of the Applicant.
- 5.27 The advice provided in respect of personal permissions indicates that such permissions are acceptable on compassionate or personal grounds and it is submitted that the current Covid 19 crisis provides justification for the use of such a condition in this instance, given the background to this Planning Application.

***Production 6 – Extract from Circular 4/1998  
The Use of Conditions in Planning Permissions***

**6.0 THIRD PARTY AND COMMUNITY COUNCIL REPRESENTATIONS**

- 6.1 It should be noted that, as a result of Neighbour Notification, no objections to the Planning Application were received by the Planning Authority which suggests that the immediate neighbours do not have any concerns in respect of the operation of the business nor concerns in respect of loss of amenity. Indeed, letters of support were submitted with the Planning Application, indicating strong local support for the business.
- 6.2 Kilmacolm Civic Trust indicated that it had no objections in Principle to the Application but did raise concerns about parking requirements. The parking arrangements in respect of the very limited use of the business by patrons using their cars is all detailed above, demonstrating that off street parking is always available.

**7.0 CONCLUSIONS**

- 7.1 The proposal before the Review Body is for the use of a portion of a garage to provide a very limited beauty service to the residents of Kilmacolm.
- 7.2 The Appellant has operated in the Kilmacolm area for in excess to fourteen years and was forced to close her former shop premises in the centre of Kilmacolm following lockdowns imposed by government in response to the Covid pandemic.

- 7.3 The very limited service provided from the current premises was commenced wholly at the behest of former clients asking that a trusted local service remained in the village.
- 7.4 The Appellant has taken vigorous steps to ensure that the service is limited and only one client at a time is permitted to visit the premises, all protocols are followed in respect of cleaning and sanitation between clients and that off street parking is provided for the very limited number of clients who choose to arrive at the premises by car.
- 7.5 Given the ongoing Covid pandemic, which has severely disrupted the provision of services throughout Inverclyde and with no end yet in sight, it is submitted that this facility should be retained for local residents.
- 7.6 For all of the reasons outlined above it is requested that this Appeal be upheld and planning permission granted for the change of use of part of a domestic garage to a beauty salon at 4 Orchard Grove, Kilmacolm.

Evelyn Chalk  
Director  
6 Orchard Grove  
Kilmacolm  
Renfrewshire  
PA13 4HQ

Dear Sir/Madam

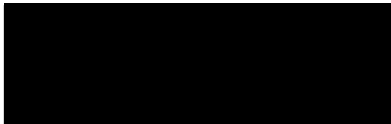
**Mrs Claire Clarke, 4 Orchard Grove, Kilmacolm, PA13 4HQ**

With reference to Claire's nail business being sited at her home, I would like to state that as a neighbour I have found absolutely no disruption or increased traffic in our cul-de-sac.

I can vouch that Claire is a consummate professional in the way she conducts her business – I have been a client of her salon for over 10 years. I am also Director for Scotland for a Health Tech company supplying solutions and software to the NHS in Scotland and therefore feel qualified to make that statement.

I see no reason why she should not be allowed to continue with her business. As we all know, the COVID 19 pandemic has caused much hardship and personal loss. Claire is trying to ensure she keeps a roof over her family's head in the only way she can under the circumstances and has made every effort to ensure there is no disruption to her neighbours.

Yours faithfully,

A solid black rectangular box used to redact the signature of Evelyn Chalk.

Evelyn Chalk

Dr. Alison E Balfour

The Hermitage

Burndale Lane

Kilmacolm

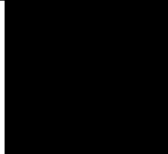
15 June 2021

To whom it may concern

I have been a client of Beautique (Kilmacolm) Ltd for over 10 years. During that time the owner Mrs Claire Clarke has always been reliable, professional and business like. She has impressed me with her ability to manage health and safety regulations and to safely navigate customers through COVID regulations. I am happy to be contacted if her suitability as a business owner requires to be discussed further.

Yours sincerely

  
Alison E Balfour

BSc, MB, ChB, FRCPath  




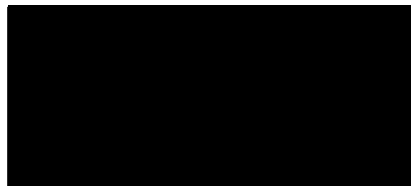
"Cramond"  
1 Orchard Grove  
Kilmacolm  
Renfrewshire  
PA13 4HQ

9/6/21

Dear Sir / Madam

I am writing to confirm that since Mrs Claire Clarke has converted her garage into a beauty salon that we feel that she has been respectful and sensitive to us with regards to client parking and noise. Mrs Clarke informed us that her working hours are only during school hours ie 9am to 3pm. We feel this has not had a detrimental affect on our cul-de-sac, and wish her well with her business.

Yours sincerely



Signed: J. Craig

**From:** [REDACTED]

**To:** bboydplanning@aol.com,

**Date:** Tue, 22 Jun 2021 9:50

---

Dear Mr Boyd

Regarding the Beauty Salon in Orchard Grove, Kilmacolm. My neighbour Mrs Claire Clark has contacted me to confirm that she does at present also work a few evenings from 5 to 7pm. In my previous letter to you I had only referred to the hours of 9am to 3pm. I can confirm that I have not found the evening work to cause any undue disruption to myself within our cul de sac either.

Yours sincerely

J.Craig.

--

Sent from myMail for Android

**From:** [REDACTED]**To:** bboydplanning@aol.com,**Subject:** Fwd: FAO Mr Boyd**Date:** Mon, 21 Jun 2021 21:13

Sent from my iPhone

Begin forwarded message:

**From:** Erika <[REDACTED]>  
**Date:** 16 June 2021 at 15:15:08 BST  
**To:** claire clarke <[REDACTED]>  
**Subject:** FAO Mr Boyd

Dear Mr Boyd

I am writing to strongly support Claire's application to run her business, Beautique, from her home. In fact, I am surprised that she is having to apply for this in the first place!

I have been going to Beautique for ten years. During Covid, many businesses shut down and others suffered huge financial losses. Claire was not able to open her salon due to restrictions but still had to pay rent for her premises thus incurring financial losses.

I was delighted when I heard that Beautique was going to open up from Claire's home. She has transformed her garage into a beautiful salon. This is a professional salon and has the same feeling and exemplary standards that she had when she had Beautique in her original premises. The space has been renovated professionally and she runs it with the same professional manner as she did before.

Since she has been able to see clients from her new premises, I have never been waiting for someone else to leave and I have not seen anyone waiting when I have left. I walk to the new premises as I, along with other clients, am conscientious of neighbours. Claire maintains her professional manner throughout and meets all Covid safety protocols. I pay by contactless card and book my appointments online which is so handy as a customer.

In fact, the world has had to adapt to home working. So many other businesses have been working from home since March 2020 so I am puzzled why Claire is having to apply for permission for her to do the same. It is a professional business, I have seen no disruption in the road or with parking. Businesses are having to adapt to the new way of working and Claire has done it brilliantly.

If you require any further information, please do not hesitate to contact me. Otherwise, I fully support this application.

Kind regards

Dr Erika Letson  
General Practitioner

Sent from my iPhone

**From:** [REDACTED]**To:** bboydplanning@aol.com,**CC:** [REDACTED]**Subject:** Planning application Claire Clarke**Date:** Mon, 21 Jun 2021 22:00

---

I am writing in relation to the planning application made by Claire Clarke of Kilmacolm.

I have been a client of Claire since she opened her business in Kilmzcolm Village. Claire has since moved to her new premises which enables her to continue to offer the very high standard of service which she has always been known for.

I work in a professional capacity as a manager with Renfrewshire Council and the standard of service Claire provides allows me to have a calm quiet service in a very quiet and calm setting.

I realise Claire has relocated to premises at her home. I have taken great respect of her neighbours, always walk to her salon avoiding any excess traffic around her address, and I know other clients are also taking the same approach, respecting the peace of the neighbourhood.

Claire has always taken a very responsible approach to her business, ensuring a very high quality of service and the current business allows her to operate in a very quiet, calm and tranquil setting.

I regard the current business offered by Claire to be of the highest standard and delivered in a professional and responsible manner suiting the clients who attend.

If I can offer any other support to Claire's planning application, please do get in touch.

Regards,Dorothy MacKillop

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**Planning Circular 4/1998: the us...**

not normally be material changes of use involving development. Conditions of this kind can be burdensome to some technologically advanced industries. They may have a need for higher than normal levels of ancillary office, research or storage uses, or for short-term changes in uses or the balance of uses. Such conditions should, therefore, not normally be imposed on permissions for manufacturing or service industry, except where they are designed to preclude or regulate activities giving rise to hazard, noise or offensive emissions.

## Conditions restricting the occupancy of buildings and land

### Occupancy: general considerations

91. Since planning controls are concerned with the use of land rather than the identity of the user, the question of who is to occupy premises for which permission is to be granted will normally be irrelevant. Conditions restricting occupancy to a particular occupier or class of occupier should only be used when special planning grounds can be demonstrated and where the alternative would normally be refusal of permission.

### Personal permissions

92. Unless the permission otherwise provides, planning permission runs with the land and it is seldom desirable to provide otherwise. There are occasions relating, for example, to strong compassionate or other personal grounds, where the planning authority is minded to grant permission for the use of a building or land for some purpose which would not normally be allowed. In such a case the permission may be made subject to a condition that it shall enure only for the benefit of a named person- usually the applicant. A permission personal to a company is generally inappropriate. Conditions of this type will scarcely ever be justified in the case of a permission for the erection of a permanent building.

### General undesirability of commercial and industrial occupancy conditions

93. Conditions are sometimes imposed to confine the occupation of commercial or industrial premises to local firms. Such conditions can act- undesirably- to protect local businesses against fair competition and may hinder the movement of industry in response to economic demand. If a service, or the employment it generates, is needed in an area, there is no planning reason why it should be provided by one firm rather than another. Commercial and industrial buildings in an area of open countryside will not become more acceptable because their occupancy is restricted, nor will the expansion of a local firm necessarily lead to less pressure for further development (eg housing) than the arrival of a firm from outside. The Secretary of State therefore regards such conditions as undesirable in principle.

### Conditions governing size of unit occupied

94. Conditions requiring that a large commercial or industrial building should be occupied either only as a single unit or, alternatively, only in suites not exceeding a certain area or floorspace, represent a significant interference with property rights which is likely to inhibit or delay the productive use of the buildings affected. Such conditions should, therefore, normally be avoided.

**9. SUGGESTED CONDITION SHOULD PLANNING  
PERMISSION BE GRANTED ON REVIEW**

## **21/0195/IC - Review - Suggested Condition**

Should planning permission in principle be granted on review the following condition is suggested.

Condition:

1. This permission hereby granted shall enure solely for the benefit of the applicant.

Reason:

1. In the interests of preserving the residential amenity of houses adjoining the site.

**LOCAL REVIEW BODY**

**6 APRIL 2022**

**PLANNING APPLICATION FOR REVIEW**

**MR JAMES MCCONNACHIE  
PROPOSED CONVERSION AND ALTERATION OF WINDOWS AND  
INSTALLATION OF BRIDGE AND STEPS TO ACCESS HIGHER GARDEN AREA  
11 OLD INVERKIP ROAD, GREENOCK (21/0102/IC)**

**Contents**

- 1. Planning Application dated 2 April 2021 together with Location, Elevation, Section and Site Plans**
- 2. Appointed Officer's Report of Handling dated 14 September 2021**
- 3. Inverclyde Local Development Plan 2019 Policy Extracts**

**To view the Inverclyde Local Development Plan see:**

**<https://www.inverclyde.gov.uk/planning-and-the-environment/planning-policy/development-planning/ldp>**

- 4. Inverclyde Local Development Plan 2019 Map Extract**
- 5. Representation in relation to Planning Application**
- 6. Decision Notice dated 22 October 2021 issued by Head of Regeneration & Planning**
- 7. Notice of Review Form dated 13 January 2022 with Supporting Statement from Rebecchi Architectural**
- 8. Notice of Review – Sun Study Existing and Proposed**
- 9. Suggested Condition should Planning Permission be Granted on Review**

**Note: Inverclyde Proposed Local Development Plan 2021 has been attached to the rear of the agenda papers as supplementary content.**



**1. PLANNING APPLICATION DATED 2 APRIL 2021  
TOGETHER WITH LOCATION, ELEVATION,  
SECTION AND SITE PLANS**

Municipal Buildings Clyde Square Greenock PA15 1LY Tel: 01475 717171 Fax: 01475 712 468 Email: devcont.planning@inverclyde.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE        100390930-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Description of Proposal

Please describe accurately the work proposed: \* (Max 500 characters)

Proposed installation of patio doors and bridge access to higher garden area

Has the work already been started and/ or completed? \*

No    Yes - Started    Yes – Completed

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant    Agent

## Agent Details

Please enter Agent details

Company/Organisation:	Rebecchi Architectural		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Marco	Building Name:	
Last Name: *	Rebecchi	Building Number:	55
Telephone Number: *	01475 634844	Address 1 (Street): *	Kempock Street
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Gourock
Fax Number:		Country: *	United Kingdom
		Postcode: *	PA19 1NF
Email Address: *	marco@rebecchia.com		

Is the applicant an individual or an organisation/corporate entity? \*

Individual  Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	
First Name: *	James	Building Number:	11
Last Name: *	McConnachie	Address 1 (Street): *	Old Inverkip Road
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	Greenock
Extension Number:		Country: *	United Kingdom
Mobile Number:		Postcode: *	PA16 9AG
Fax Number:			
Email Address: *	[REDACTED]		

## Site Address Details

Planning Authority:

Inverclyde Council

Full postal address of the site (including postcode where available):

Address 1:

11 OLD INVERKIP ROAD

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

GREENOCK

Post Code:

PA16 9AG

Please identify/describe the location of the site or sites

Northing

675890

Easting

226719

## Pre-Application Discussion

Have you discussed your proposal with the planning authority? \*

Yes  No

## Trees

Are there any trees on or adjacent to the application site? \*

Yes  No

If yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

## Access and Parking

Are you proposing a new or altered vehicle access to or from a public road? \*

Yes  No

If yes, please describe and show on your drawings the position of any existing, altered or new access points, highlighting the changes you proposed to make. You should also show existing footpaths and note if there will be any impact on these.

## Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? \*

Yes  No

## Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? \*

Yes  No

Is any of the land part of an agricultural holding? \*

Yes  No

## Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

## Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Marco Rebecchi

On behalf of: Mr James McConnachie

Date: 02/04/2021

Please tick here to certify this Certificate. \*

## Checklist – Application for Householder Application

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

- a) Have you provided a written description of the development to which it relates? \*  Yes  No
- b) Have you provided the postal address of the land to which the development relates, or if the land in question has no postal address, a description of the location of the land? \*  Yes  No
- c) Have you provided the name and address of the applicant and, where an agent is acting on behalf of the applicant, the name and address of that agent? \*  Yes  No
- d) Have you provided a location plan sufficient to identify the land to which it relates showing the situation of the land in relation to the locality and in particular in relation to neighbouring land? \*. This should have a north point and be drawn to an identified scale.  Yes  No
- e) Have you provided a certificate of ownership? \*  Yes  No
- f) Have you provided the fee payable under the Fees Regulations? \*  Yes  No
- g) Have you provided any other plans as necessary? \*  Yes  No

Continued on the next page

A copy of the other plans and drawings or information necessary to describe the proposals (two must be selected). \*

You can attach these electronic documents later in the process.

- Existing and Proposed elevations.
- Existing and proposed floor plans.
- Cross sections.
- Site layout plan/Block plans (including access).
- Roof plan.
- Photographs and/or photomontages.

Additional Surveys – for example a tree survey or habitat survey may be needed. In some instances you may need to submit a survey about the structural condition of the existing house or outbuilding.  Yes  No

A Supporting Statement – you may wish to provide additional background information or justification for your Proposal. This can be helpful and you should provide this in a single statement. This can be combined with a Design Statement if required. \*  Yes  No

You must submit a fee with your application. Your application will not be able to be validated until the appropriate fee has been Received by the planning authority.

## Declare – For Householder Application

I, the applicant/agent certify that this is an application for planning permission as described in this form and the accompanying Plans/drawings and additional information.

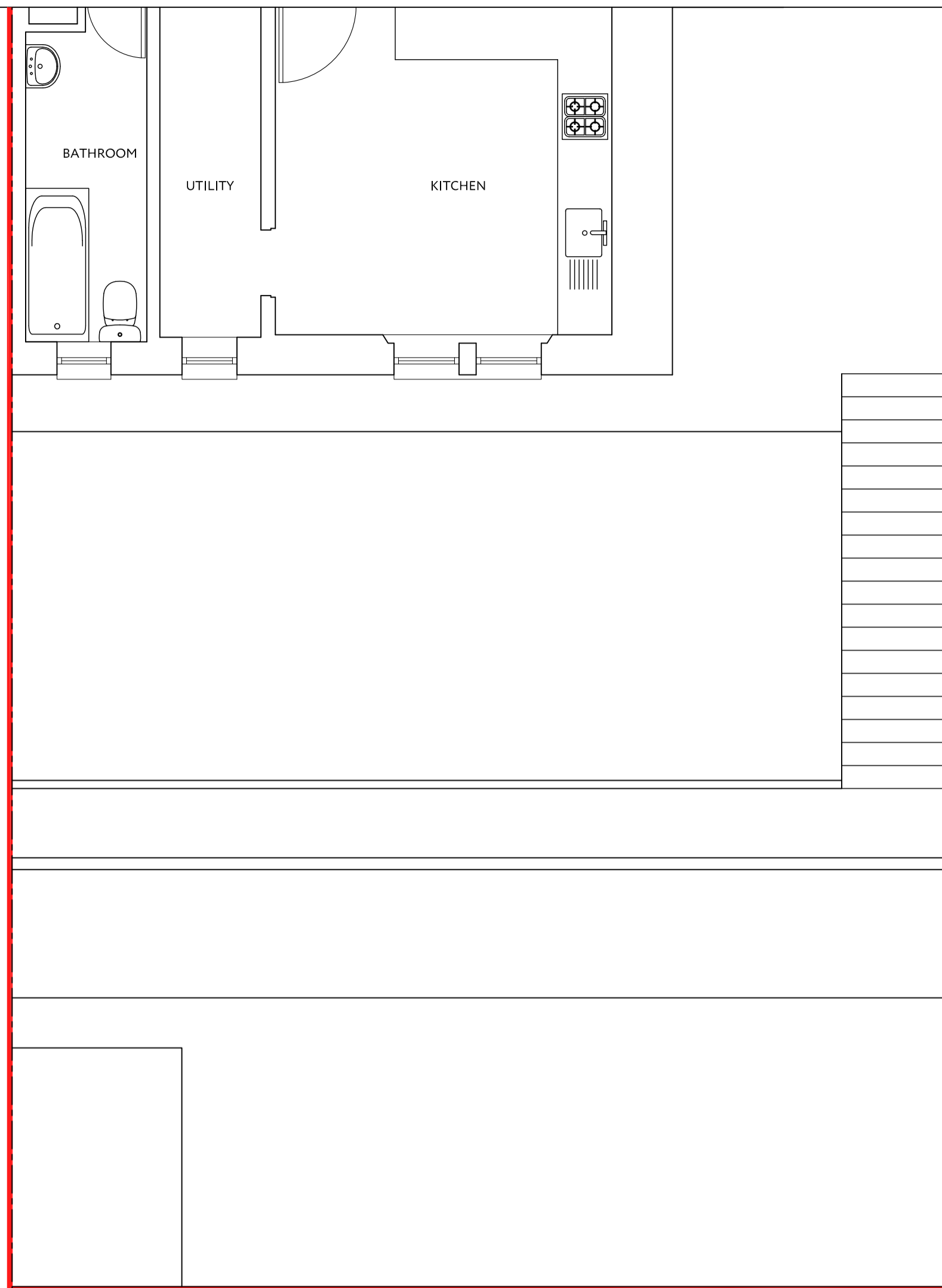
Declaration Name: Mr Marco Rebecchi

Declaration Date: 02/04/2021

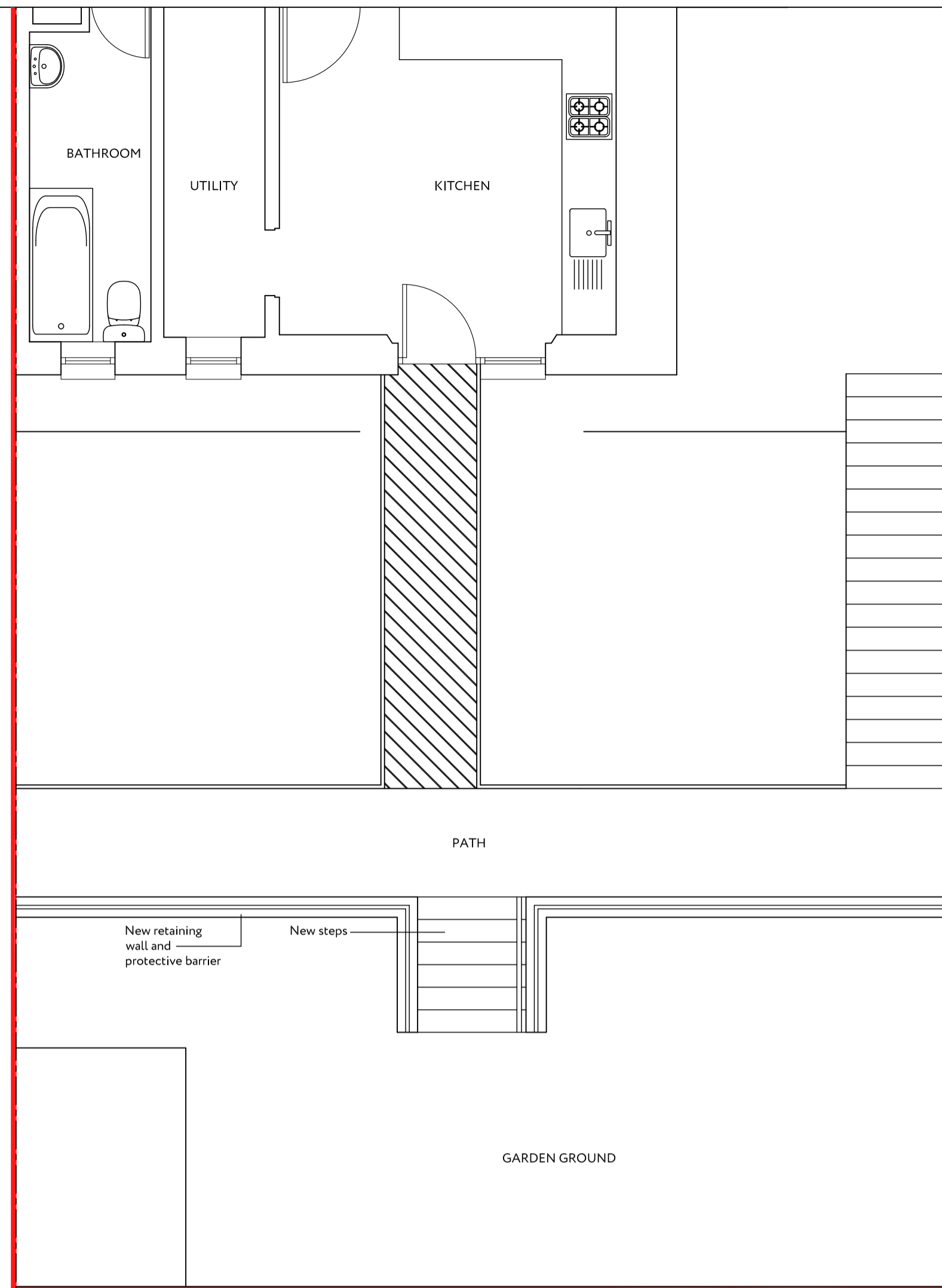
# Payment Details

Departmental Charge Code: PAYLN

Created: 02/04/2021 14:44



EXISTING FIRST FLOOR PLAN



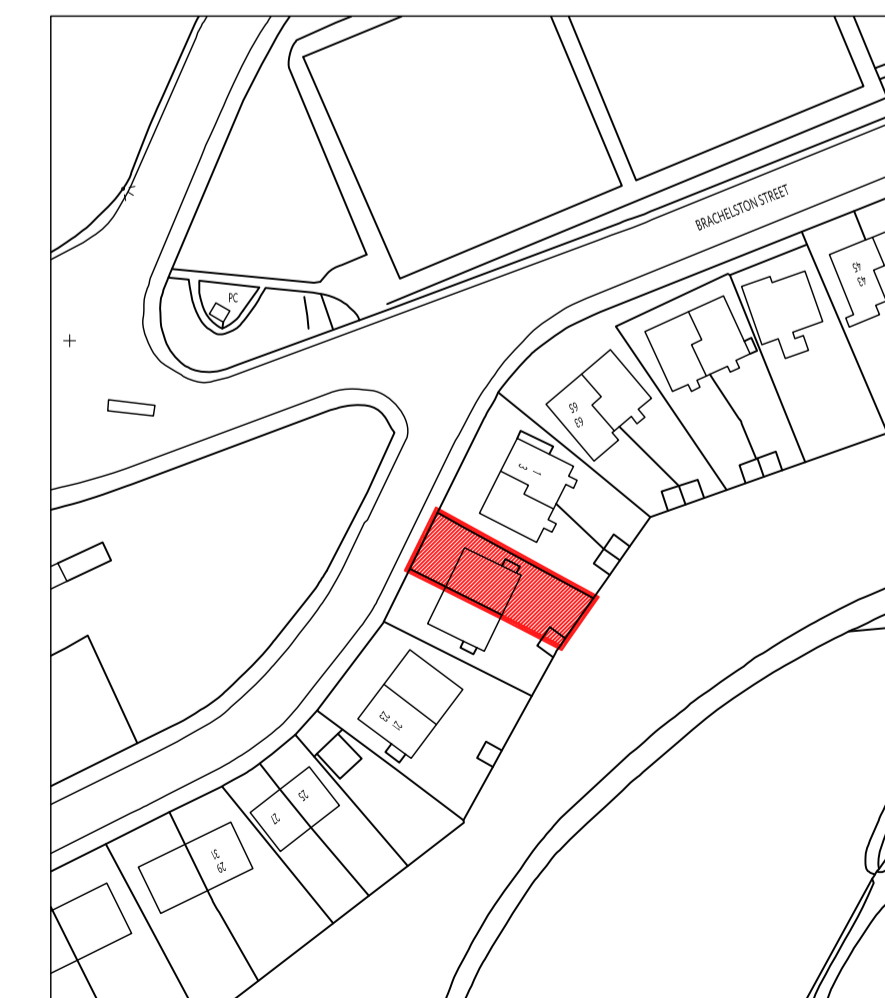
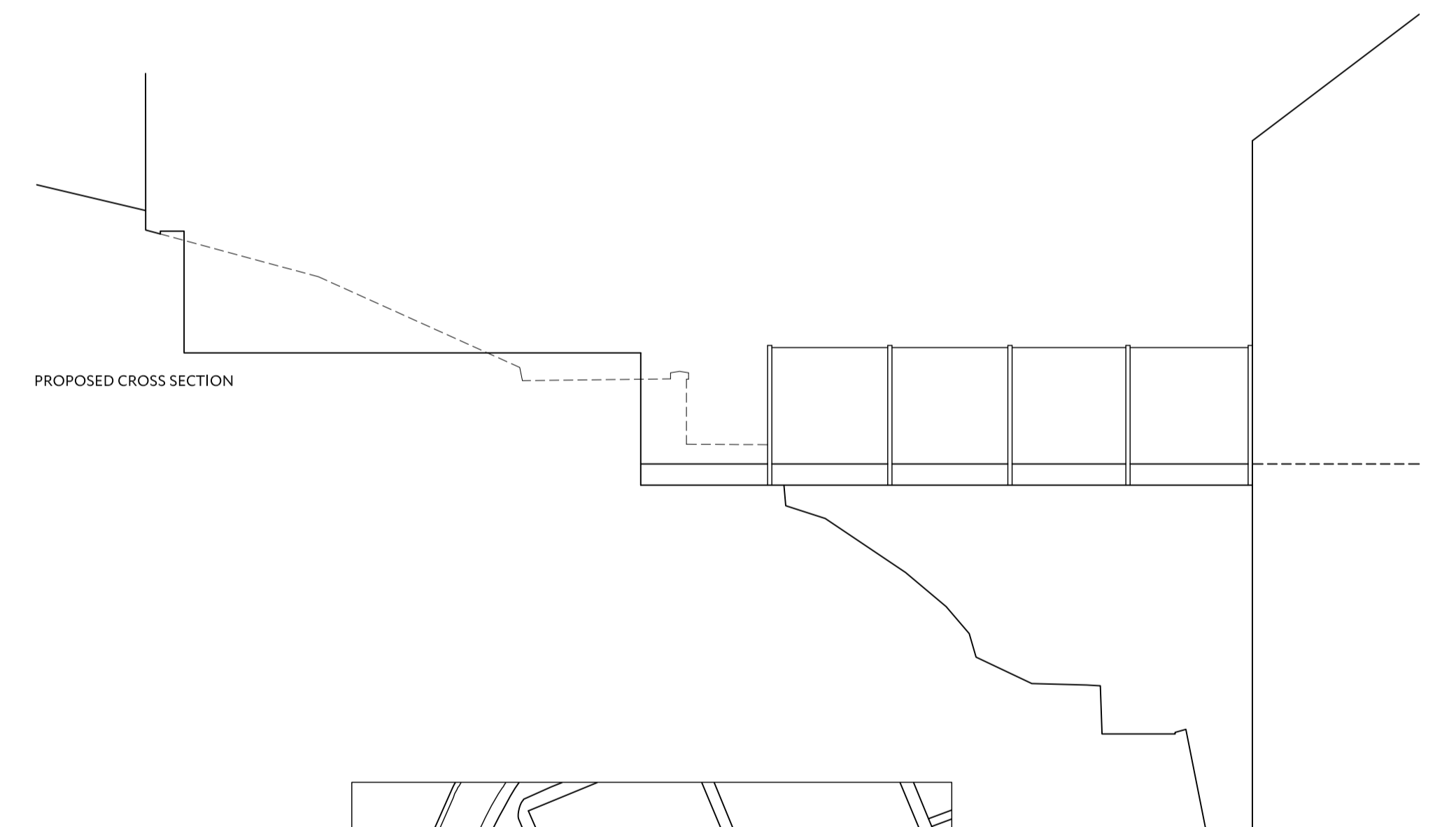
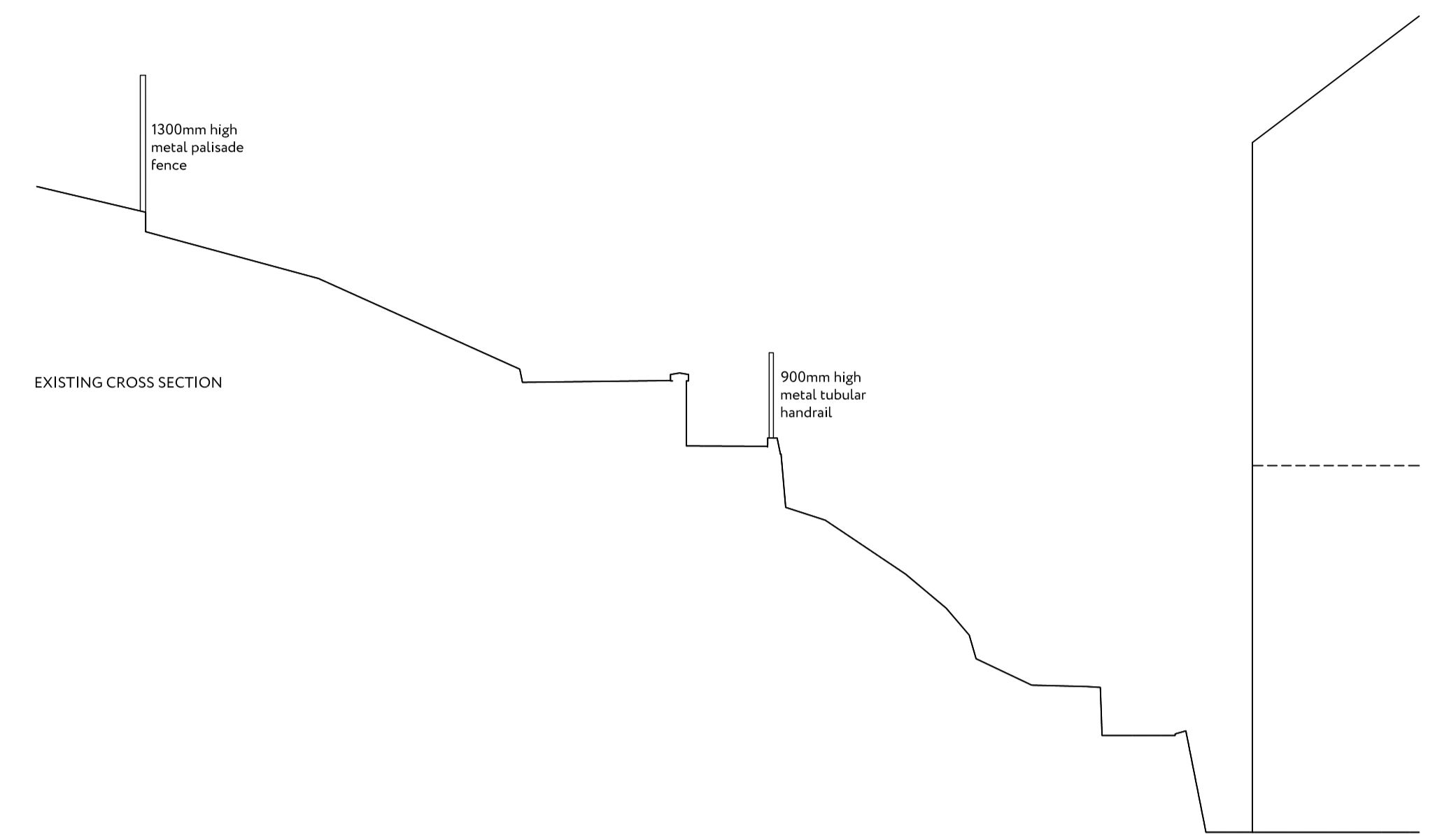
PROPOSED FIRST FLOOR PLAN



EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION



OS REPRODUCED UNDER LICENSE NUMBER - 100054476  
 SCALE 1:1250



**RA**  
 Rebecchi  
 ARCHITECTURAL  
 55 Kempock Street  
 Gourrock  
 PA19 1NF  
 t - 01475 634844  
 e - marco@rebecchi.com  
 w - rebecchi.com

Client  
 James McConnachie

Project Title  
 Proposed Formation of Access Bridge to Garden at  
 11 Old Inverkip Road  
 Greenock

Drawing Title  
 Existing & Proposed Plans, Elevations & Section

Scale	Size	Date
1:50	A1	02-04-21

Job No.	Drawing No.	Revision
21-014	PL-001	A

21-014 PL-001 A



**2. APPOINTED OFFICER'S REPORT OF HANDLING  
DATED 14 SEPTEMBER 2021**

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## REPORT OF HANDLING

**Report By:** Carrie Main

**Report No:** 21/0102/IC

**Local Application  
Development**

**Contact  
Officer:** 01475 712412

**Date:** 14 September 2021

**Subject:** Proposed conversion and alteration of windows and installation of bridge and steps to access higher garden area at  
11 Old Inverkip Road, Greenock

## SITE DESCRIPTION

The application site relates to an upper level flatted property, as part of a four in block arrangement within a Victorian building, located on the south-east side of Old Inverkip Road, Greenock. The site occupies an elevated position from the road as it slopes steeply upwards to the south-east. External steps lead to access for the property at the north-east gable elevation. Steps also exist within the rear garden which lead to a walkway/path and associated black handrail which runs parallel to the rear elevation of the building and neighbouring properties to the south-west. A retaining wall and additional section of sloped garden ground exists above the walkway which is bound by an approximately 1.8 metre high black railing to the rear boundary. Hedging exists to the north-east side boundary of the site. The property is finished in blonde sandstone to the front elevation and cream painted render to all other elevations. A flat roof dormer exists on the upper level of the building to the front and rear. Windows are framed in white UPVC.

The surrounding area is residential with properties of similar scale and design.

## PROPOSAL

Planning permission is sought to alter two windows within the first floor level of the rear elevation to a single white UPVC framed glazed door and adjoining window, both with a deadlight window above. The westernmost window is proposed to be extended downwards by approximately 0.7 metres to form a doorway. The door will lead onto a bridge, which extends to a width of approximately 1.1 metres by 4.6 metres in length, with its floor level extending between 3.2 metres (at the rear elevation of the building) and 0.2 metres (at the higher level of garden ground) to meet the existing walkway/path at the higher level of the rear garden. The bridge includes a 1.1 metre high semi-frameless glass protective barrier/balustrade. The existing walkway/path is also proposed to be widened by approximately 0.5 metres, with an approximately 1 metre high retaining wall, protective barrier and steps which lead to the higher level of garden ground to be formed at the edge of the walkway.

## **ADOPTED 2019 LOCAL DEVELOPMENT PLAN POLICIES**

### **Policy 1 - Creating Successful Places**

Inverclyde Council requires all development to have regard to the six qualities of successful places. In preparing development proposals, consideration must be given to the factors set out in Figure 3. Where relevant, applications will also be assessed against the Planning Application Advice Notes Supplementary Guidance.

## **PROPOSED DEVELOPMENT PLAN POLICIES**

### **Policy 1 - Creating Successful Places**

Inverclyde Council requires all development to have regard to the six qualities of successful places. In preparing development proposals, consideration must be given to the factors set out in Figure 3. Where relevant, applications will also be assessed against the Planning Application Advice Notes Supplementary Guidance.

### **Policy 20 - Residential Areas**

Proposals for development within residential areas will be assessed with regard to their impact on the amenity, character and appearance of the area. Where relevant, assessment will include reference to the Council's Planning Application Advice Notes Supplementary Guidance.

## **CONSULTATIONS**

None required.

## **PUBLICITY**

The nature of the proposal did not require advertisement.

## **SITE NOTICES**

The nature of the proposal did not require a site notice.

## **PUBLIC PARTICIPATION**

The application was the subject of neighbour notification. One representation was received objecting to the proposal with points of concern summarised below:

- The walkway will be directly above the bedroom of the neighbouring property (at lower level) and will affect light coming in. With the back garden being sloped, light is already limited. Without any natural light or sun coming into the room this could cause dampness.
- The walkway will be supported solely by the lintel above the objector's window which could cause structural damage. If there is any structural damage caused (to the lower level property) by the walkway being put in place the question is asked about liability to fix and pay for the damage.
- It could cause the neighbouring property (at lower level) to be devalued and be off putting to potential buyers in the future.

These points will be addressed within the assessment of the application below.

## ASSESSMENT

The material considerations in the determination of this planning application are the 2019 adopted Inverclyde Local Development Plan (LDP); the 2021 proposed Inverclyde Local Development Plan; the visual impact on the existing property, wider streetscape, the impact on neighbouring amenity and the representation received.

Policy 1 of both the adopted and proposed Plans requires all development to have regard to the six qualities of successful places. The relevant factors in respect of this development contributing to the qualities of successful places are being "Distinctive" in reflecting local architecture and urban form, changed to "reflect local vernacular/architecture and materials" within the proposed Plan; being "Safe and Pleasant" in avoiding conflict with adjacent uses that may be created by noise, invasion of privacy or overshadowing; and being "Welcoming" in making buildings legible and easy to access.

Policy 20 of the proposed Plan additionally requires development within residential areas to be assessed with regard to impact on the amenity, character and appearance of the area.

The proposed alterations are located to the rear and will therefore have limited visibility from the public domain and wider streetscape. They will however form visible additions to neighbouring properties. The proposed bridge is located immediately above the neighbouring flatted property, more specifically, directly above a neighbouring bedroom window. Given this position, I consider it appropriate to undertake a daylight assessment utilising the Building Research Establishment (BRE) Trust publication "Site Layout Planning for planning for daylight and sunlight: A good practice guide" 2011, to ensure the amenity of neighbouring residents is not affected in terms of causing an unacceptable loss of daylight. Concern for loss of daylight to the flat below was also expressed within the objection received. Following assessment, I conclude that the existing vertical sky component (VSC) to this neighbouring bedroom window is 21.5% and the resultant vertical sky component following the erection of the bridge would be 14%. The guidance recommends that a minimum value of 27% should be achieved to provide reasonable daylight in a habitable room. The room presently receives substandard daylight and therefore almost any reduction will be noticeable. The reduction which would result from the proposal would reduce this level of daylight to only approximately 65% of what can presently be achieved. The guidance indicates that if the level of reduction is greater than 80% of what can presently be achieved then such a reduction will be significant. This is clearly the case in this instance. Whilst I note that existing daylight reaching this neighbouring window is insufficient, with the steep topography of the rear garden being a main contributing factor, daylight will be further and unacceptably impacted as a result of the erection of the proposed bridge, to the detriment of neighbouring amenity.

Whilst it is appreciated that the bridge will provide direct access from the kitchen to the garden ground for the applicant, I consider it to form a dominant feature at the rear of the building with a very oppressive imposition on the neighbouring lower property. Detailed specification of the materials and finishes of the bridge structure have not been specified on the plans, with the exception of the semi-frameless glazed balustrade however, regardless, I consider that its position and form alone would have an adverse and unacceptable impact on residential amenity.

The applicant considers that there are existing similar circumstances in the vicinity and porches and bridges exist to the rear of neighbouring properties. These are historic developments and precedence is not a material planning consideration in the determination of an application. Each site and proposal must be considered on individual merit. The proposal must be assessed against current policy and the BRE Trust guidance. Irrespective of this, I have carefully considered the surrounding built form in my assessment and judge the existing bridges to differ quite considerably notably given they project from porch extensions and are not positioned directly above lower level windows.

With regards to the widening of the path, the new retaining wall and steps within the higher area of the rear garden as well as the alteration to the existing windows, I am content that in principle these alterations would be visually acceptable with no adverse implications to residential and neighbouring amenity, particularly given the variety of window designs and proportions at this elevation. I would,

however, consider it prudent to request detailed specification of materials and finishes of these elements by condition to any grant of planning permission, to ensure an accurate representation of what is proposed, in the interests of visual amenity within this residential area.

Turning to the points raised within the representation received and not yet addressed, structural integrity is a matter to be addressed by any building warrant application and financial liability, the devaluation of the property and the impact on future sales of neighbouring properties are not relevant material considerations in the assessment and determination of this application.

To conclude, the proposal will have an unacceptable impact on the amenity of a neighbouring property as it would form an imposing structure which would result in an unacceptable loss of daylight and intensify overlooking/invasion of privacy. It cannot be justified against Policy 1 of the adopted and proposed Plan and Policy 20 of the proposed Plan. Planning permission should therefore be refused.

## **RECOMMENDATION**

That the application be refused for the following reason:

1. The proposed bridge cannot be justified under Policy 1 of the adopted and proposed Inverclyde Local Development Plan and under Policy 20 of the proposed Inverclyde Local Development Plan as it presents an imposing structure which would overshadow the neighbouring property below, result in an unacceptable loss of daylight and intensify overlooking/invasion of privacy to the detriment of neighbouring residential amenity.

Signed:



Carrie Main  
Case Officer



Mr Stuart W Jamieson  
Interim Service Director  
Environment and Economic Recovery

### **3. INVERCLYDE LOCAL DEVELOPMENT PLAN 2019 POLICY EXTRACTS**

## 3.0 CREATING SUCCESSFUL PLACES

### Introduction

**3.1** Inverclyde has many fantastic and unique places. Examples include the Free French Memorial and Lyle Hill, which offer panoramic views over the Firth of Clyde; Quarriers Village, built in the 19<sup>th</sup> century as an orphans' village and filled with individually designed homes of that period; the A-listed Edwardian Wemyss Bay railway station; and the grid-pattern Greenock West End conservation area, which is contained to the north by the popular Greenock Esplanade. These, and other places, have stood the test of time and remain places where people want to live and visit.

**3.2** The Council is keen to have more successful places in Inverclyde, and all new development will be expected to contribute to creating successful places. This is particularly important in relation to the Plan's Priority Projects and Priority Places, which reflect major Council investments and the larger scale regeneration opportunities in Inverclyde.

### Creating Successful Places

**3.3** The Council is keen that all development contributes to making Inverclyde a better place to live, work, study, visit and invest. To differing degrees, all scales and types of development have the potential to make an impact on the surrounding environment and community. It is important to the Council that this impact is a positive one. To this end, the Council will have regard to the six qualities of a successful place when considering all development proposals.

**Distinctive**

**Adaptable**

**Resource Efficient**

**Easy to Move Around**

**Safe and Pleasant**

**Welcoming**

**3.4** **Figure 3** illustrates the factors that contribute to the six qualities of a successful place. Not all will be relevant to every development proposal and planning application, but where they are, the Council will expect development proposals to have taken account of them, and it will have regard to them in the assessment of planning applications.



Quarriers Village

## POLICY 1 – CREATING SUCCESSFUL PLACES

Inverclyde Council requires all development to have regard to the six qualities of successful places. In preparing development proposals, consideration must be given to the factors set out in Figure 3. Where relevant, applications will also be assessed against the Planning Application Advice Notes Supplementary Guidance.



Wemyss Bay Railway Station

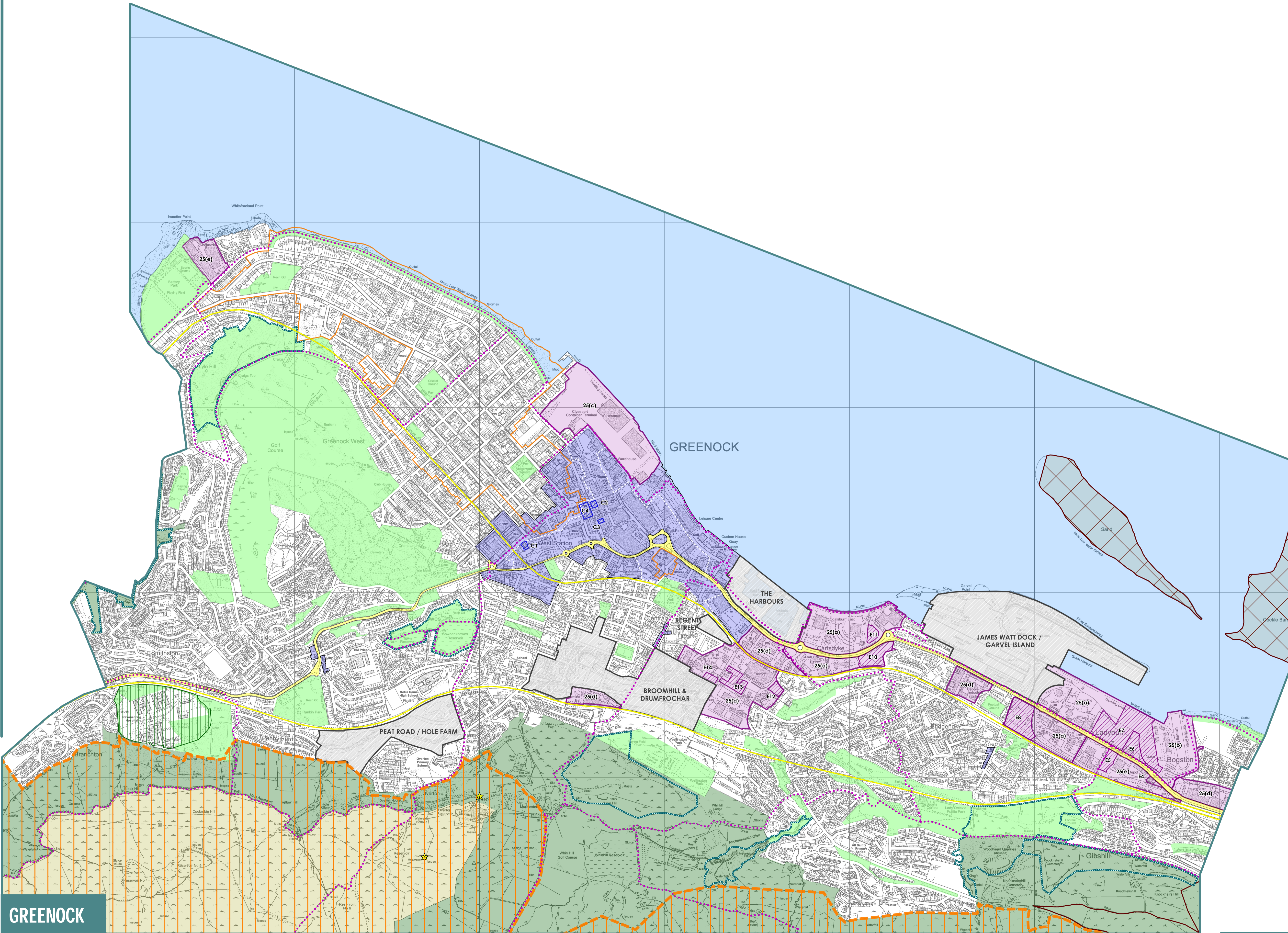
FIGURE 3: Factors Contributing to Successful Places





## **4. INVERCLYDE LOCAL DEVELOPMENT PLAN 2019 MAP EXTRACT**

# LOCAL DEVELOPMENT PLAN 2019



## KEY

SUSTAINABLE DEVELOPMENT STRATEGY		
	Priority Place	POLICY 3
CONNECTING PEOPLE AND PLACES		
	Trunk Road	POLICY 11
	Railway	POLICY 11
SPATIAL DEVELOPMENT STRATEGY		
	Green Belt	POLICIES 14 & 19
	Countryside	POLICIES 14 & 19
OUR TOWN AND LOCAL CENTRES		
	Town Centre / Local Centre	POLICY 22
	Greenock Town Centre Central Area	POLICY 22
	Network of Centres Opportunity	POLICY 22
OUR JOBS AND BUSINESSES		
	Business & Industrial Area	POLICY 25
	Business & Industrial Development Opportunity	POLICY 26
OUR HISTORIC BUILDINGS AND PLACES		
	Conservation Area	POLICY 28
	Scheduled Monument	POLICY 31
OUR NATURAL AND OPEN SPACES		
	Special Protection Area / Ramsar Site	POLICY 33
	Site of Special Scientific Interest	POLICY 33
	Local Nature Conservation Site	POLICY 33
	Tree Preservation Order	POLICY 34
	Open Space	POLICY 35
	Clyde Muirshiel Regional Park	POLICY 37
	Core Path	POLICY 38
	River Clyde / Firth of Clyde	

Inverclyde council SCALE 1:10,000

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## **5. REPRESENTATION IN RELATION TO PLANNING APPLICATION**

# Comments for Planning Application 21/0102/IC

## Application Summary

Application Number: 21/0102/IC

Address: 11 Old Inverkip Road Greenock PA16 9AG

Proposal: Proposed conversion of windows to patio doors and installation of bridge and steps to access higher garden area

Case Officer: Carrie Main

## Customer Details

Name: Miss Melissa De Sousa

Address: 9 Old Inverkip Road Greenock

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like the following points to be considered please:

- the walkway will be directly above my bedroom and will effect the light coming into the room, with the back garden being sloped it's already limited.
- without any natural light or sun coming into the room this could cause dampness.
- the walkway will be supported solely by the lintel above my window which could cause structural damage
- if there is any structural damage caused by the walk way being put in will the contractors be liable to fix and pay for the damage?
- it could cause my property to be devalued and be off putting to potential buyers in the future.

**6. DECISION NOTICE DATED 22 OCTOBER 2021  
ISSUED BY HEAD OF REGENERATION AND  
PLANNING**

# DECISION NOTICE

## *Refusal of Planning Permission*

Issued under Delegated Powers

**Regeneration and Planning  
Municipal Buildings  
Clyde Square  
Greenock PA15 1LY**

**Planning Ref: 21/0102/IC**

*Online Ref: 100390930-001*

***TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997  
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)  
(SCOTLAND) REGULATIONS 2013***

**Mr James McConnachie  
11 Old Inverkip Road  
GREENOCK  
PA16 9AG**

**Rebecchi Architectural Services Ltd  
Marco Rebecchi  
55 Kempock Street  
GOUROCK  
PA19 1NF**

With reference to your application dated 2nd April 2021 for planning permission under the above mentioned Act and Regulation for the following development:-

**Proposed conversion of windows to patio doors and installation of bridge and steps to access higher garden area at**

**11 Old Inverkip Road, Greenock**

**Category of Application Local Application Development**

The INVERCLYDE COUNCIL in exercise of their powers under the abovementioned Act and Regulation hereby refuse planning permission for the said development.

The reasons for the Council's decision are:-

1. The proposed bridge cannot be justified under Policy 1 of the adopted and proposed Inverclyde Local Development Plan and under Policy 20 of the proposed Inverclyde Local Development Plan as it presents an imposing structure which would overshadow the neighbouring property below, result in an unacceptable loss of daylight and intensify overlooking/invasion of privacy to the detriment of neighbouring residential amenity

The reason why the Council made this decision is explained in the attached Report of Handling.

**Dated this 22nd day of October 2021**

  
**Mr Stuart W. Jamieson  
Interim Service Director  
Environment and Economic Recovery**

- 1 If the applicant is aggrieved by the decision of the Planning Authority to refuse permission for or approval required by condition in respect of the proposed development, or to grant permission or approval subject to conditions, he may seek a review of the decision within three months beginning with the date of this notice. The request for review shall be addressed to The Head of Legal and Administration, Inverclyde Council, Municipal Buildings, Greenock, PA15 1LY.
- 2 If permission to develop land is refused or granted subject to conditions, and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, he may serve on the planning authority a purchase notice requiring the purchase of his interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997

**Refused Plans: Can be viewed Online at <http://planning.inverclyde.gov.uk/Online/>**

Drawing No:	Version:	Dated:
PL-001		02.04.2021

**7. NOTICE OF REVIEW FORM DATED 13 JANUARY  
2022 WITH SUPPORTING STATEMENT FROM  
REBECCHI ARCHITECTURAL**



Municipal Buildings Clyde Square Greenock PA15 1LY Tel: 01475 717171 Fax: 01475 712 468 Email: devcont.planning@inverclyde.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100390930-003

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant  Agent

## Agent Details

Please enter Agent details

Company/Organisation:	Rebecchi Architectural		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Marco	Building Name:	Suite 1
Last Name: *	Rebecchi	Building Number:	32
Telephone Number: *	01475 634844	Address 1 (Street): *	Kempock Street
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Gourock
Fax Number:		Country: *	United Kingdom
		Postcode: *	PA19 1NA
Email Address: *	planning@rebecchia.com		

Is the applicant an individual or an organisation/corporate entity? \*

Individual  Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="James"/>	Building Number:	<input type="text" value="11"/>
Last Name: *	<input type="text" value="McConnachie"/>	Address 1 (Street): *	<input type="text" value="Old inverkip Road"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text" value="REDACTED"/>	Town/City: *	<input type="text" value="Greenock"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="United Kingdom"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="PA16 9AG"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="REDACTED"/>		

## Site Address Details

Planning Authority:	<input type="text" value="Inverclyde Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="11 OLD INVERKIP ROAD"/>
Address 2:	<input type="text"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="GREENOCK"/>
Post Code:	<input type="text" value="PA16 9AG"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="675890"/>	Easting	<input type="text" value="226719"/>
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## Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: \*  
(Max 500 characters)

Proposed installation of patio doors and bridge access to higher garden area

## Type of Application

What type of application did you submit to the planning authority? \*

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? \*

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

## Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: \* (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

See attached document

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? \*

Yes  No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: \* (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: \* (Max 500 characters)

Appeal statement Drawings 21-014-PL-001, SK-002, SK-003, SK-004, SK-005, SK-006. SK-007 Refusal Notice

## Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

21/0102/IC

What date was the application submitted to the planning authority? \*

02/04/2021

What date was the decision issued by the planning authority? \*

22/10/2021

## Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. \*

Yes  No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? \*

Yes  No

Is it possible for the site to be accessed safely and without barriers to entry? \*

Yes  No

## Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. \*

Yes  No

Have you provided the date and reference number of the application which is the subject of this review? \*

Yes  No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? \*

Yes  No  N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? \*

Yes  No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review \*

Yes  No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

## **Declare – Notice of Review**

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Marco Rebecchi

Declaration Date: 13/01/2022

## APPEAL STATEMENT

21-014 – James McConnachie, 11 Old Inverkip Road, Greenock – 21/0102/IC

Proposed conversion of window to patio doors and installation of bridge and steps to access higher garden area.

The above application was refused for the following reason: -

*“The proposed bridge cannot be justified under Policy 1 of the adopted and proposed Inverclyde Local Development Plan and under Policy 20 of the proposed Inverclyde Local Development Plan as it presents an imposing structure which would overshadow the neighbouring property below, result in an unacceptable loss of daylight and intensify overlooking/invasion of privacy to the detriment of neighbouring residential amenity”*

Our grounds for appeal are as follows: -

Our attached sun light study drawings demonstrate that overshadowing is only a slight issue early morning during the summer months. Given that this is a bedroom this should not cause any real grounds for concern given the path of the sun.

Notwithstanding the above, my client is willing to install an open lattice effect floor system to ensure as much light is transmissible through the bridge floor as possible.

With regards to overlooking, the overlooking possible from the bridge is no worse than it currently is from the rear garden.

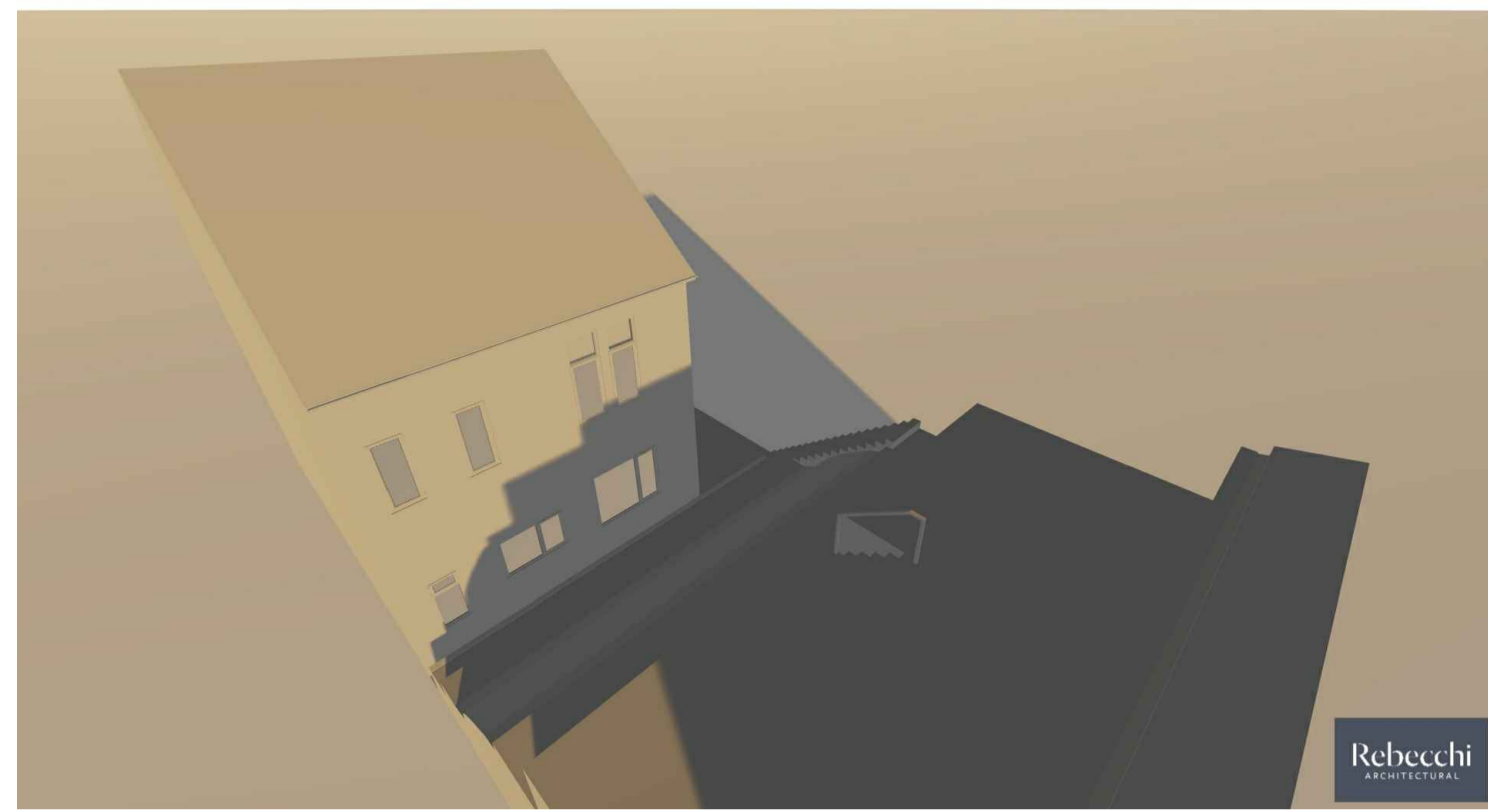
A precedent has already been set by the fact that 2 neighbouring properties have bridge accesses to their higher ground.



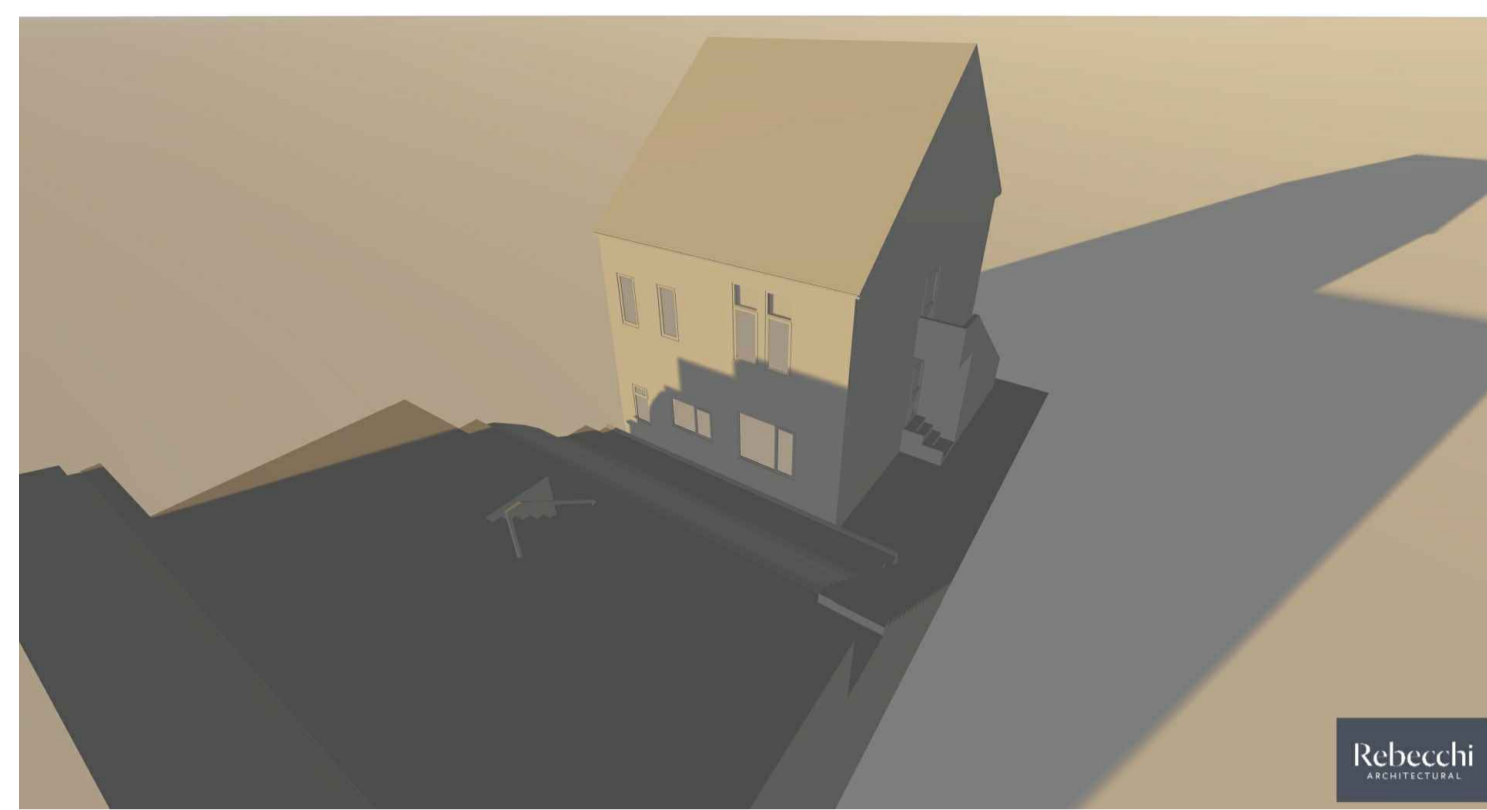




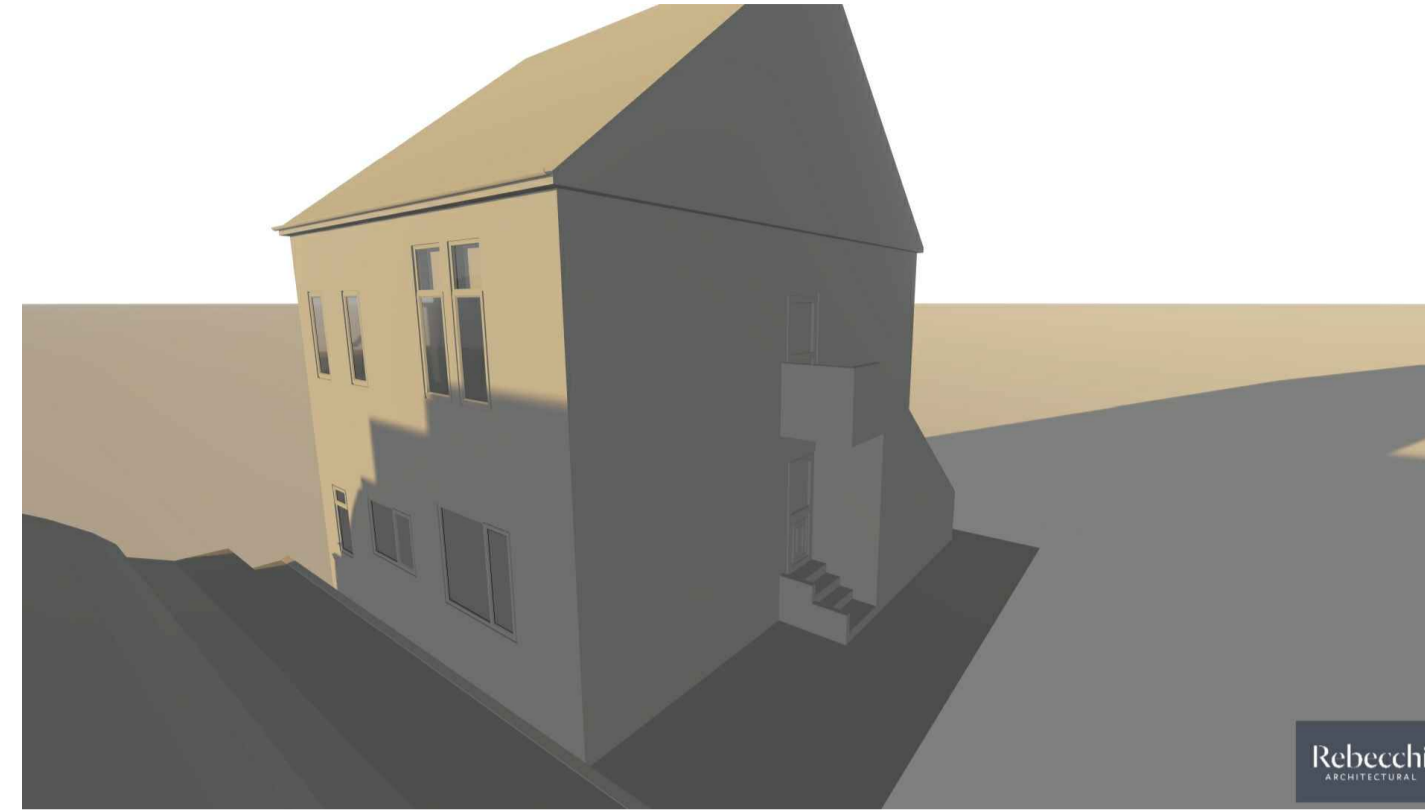
## **8. NOTICE OF REVIEW – SUN STUDY EXISTING AND PROPOSED**



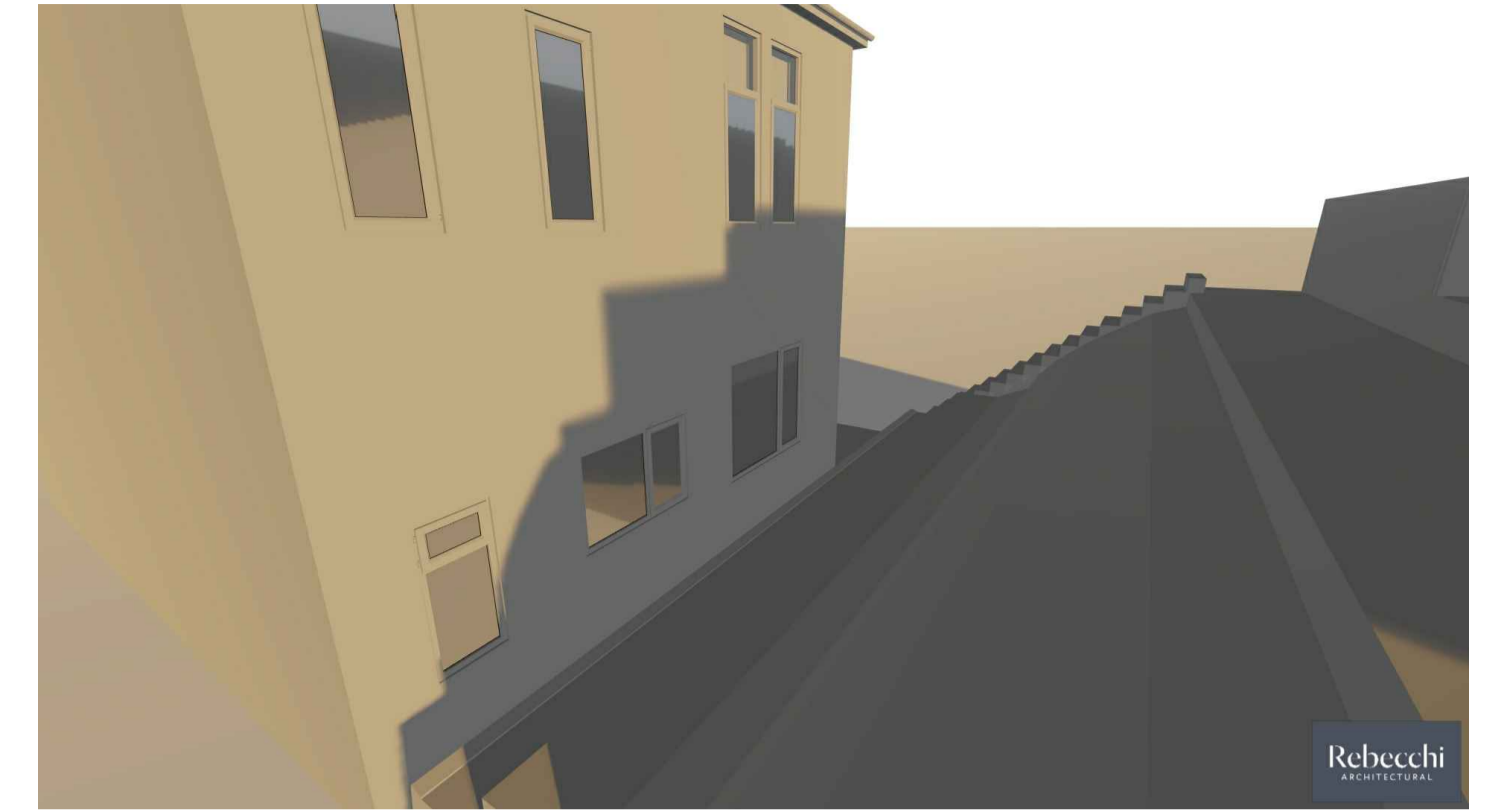
February 9am



February 9am



February 9am



February 9am



February 12pm



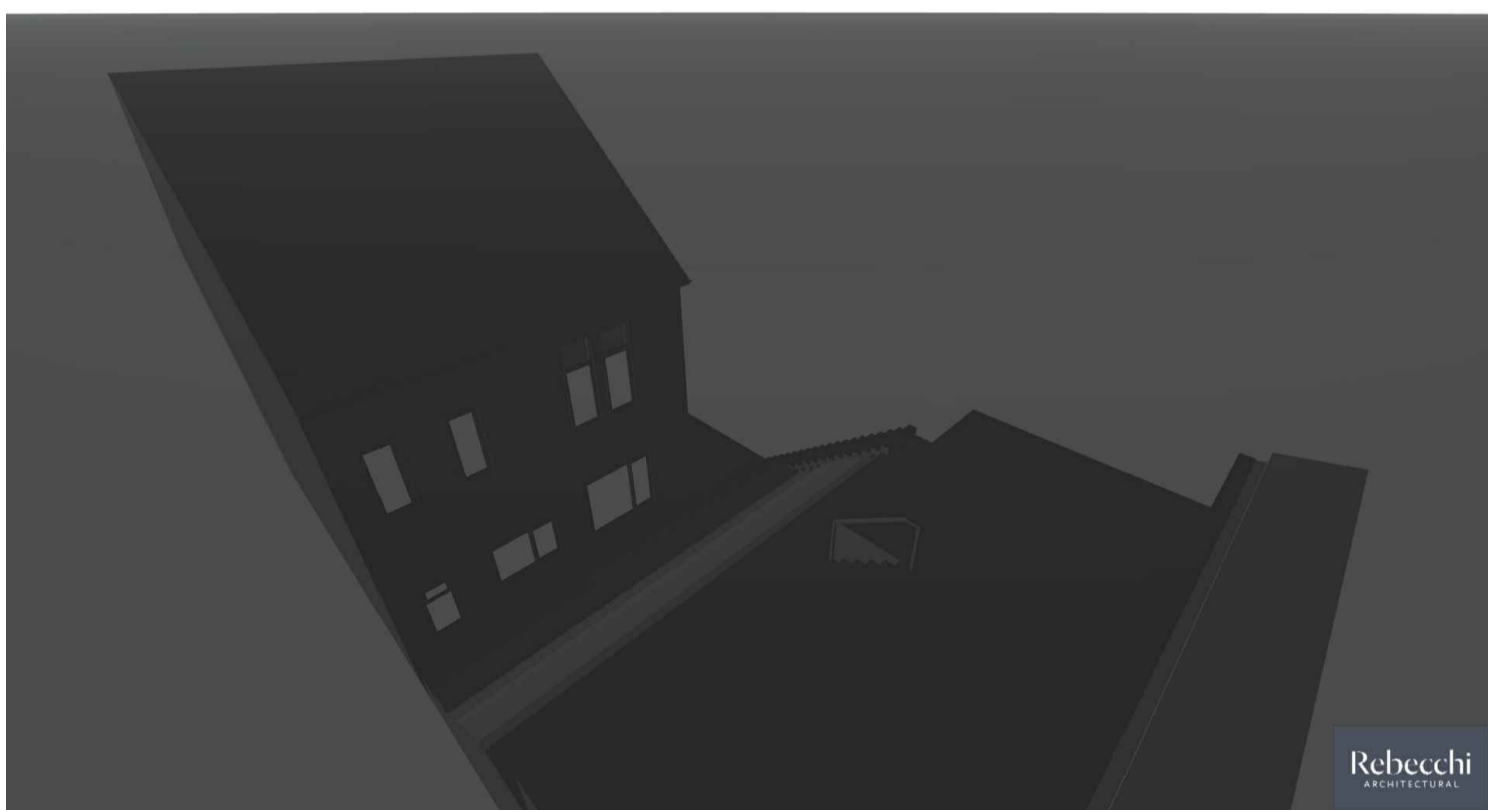
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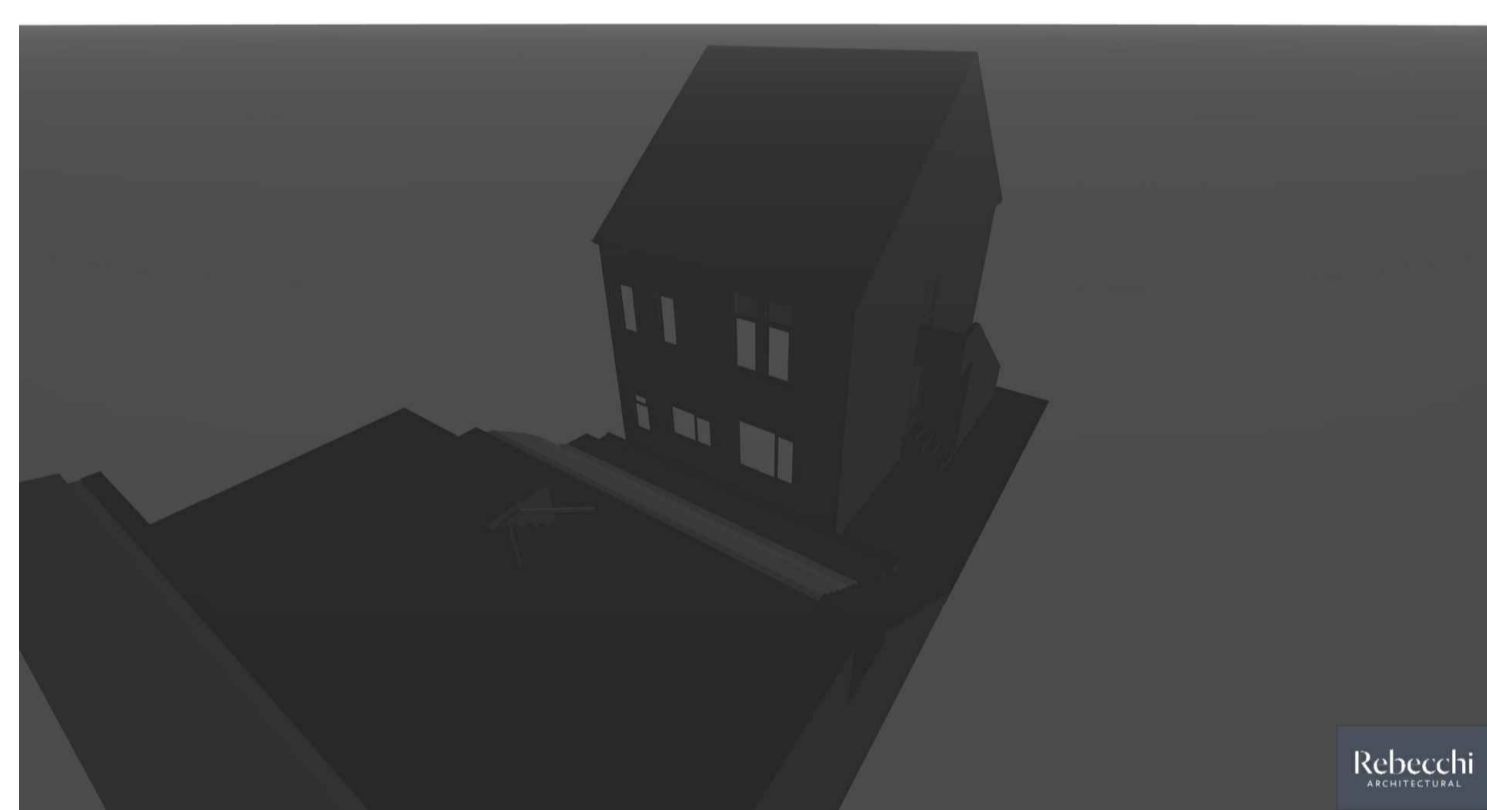
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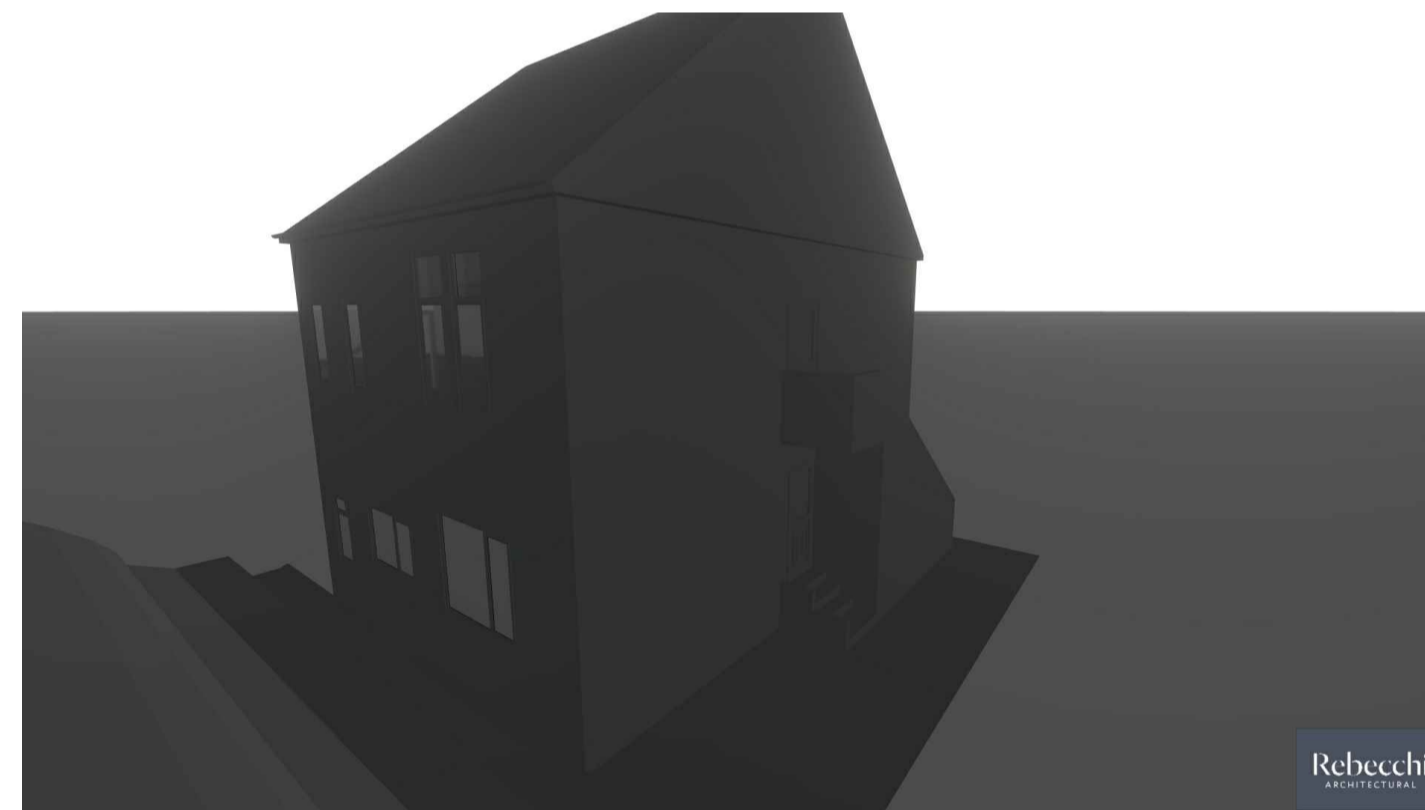
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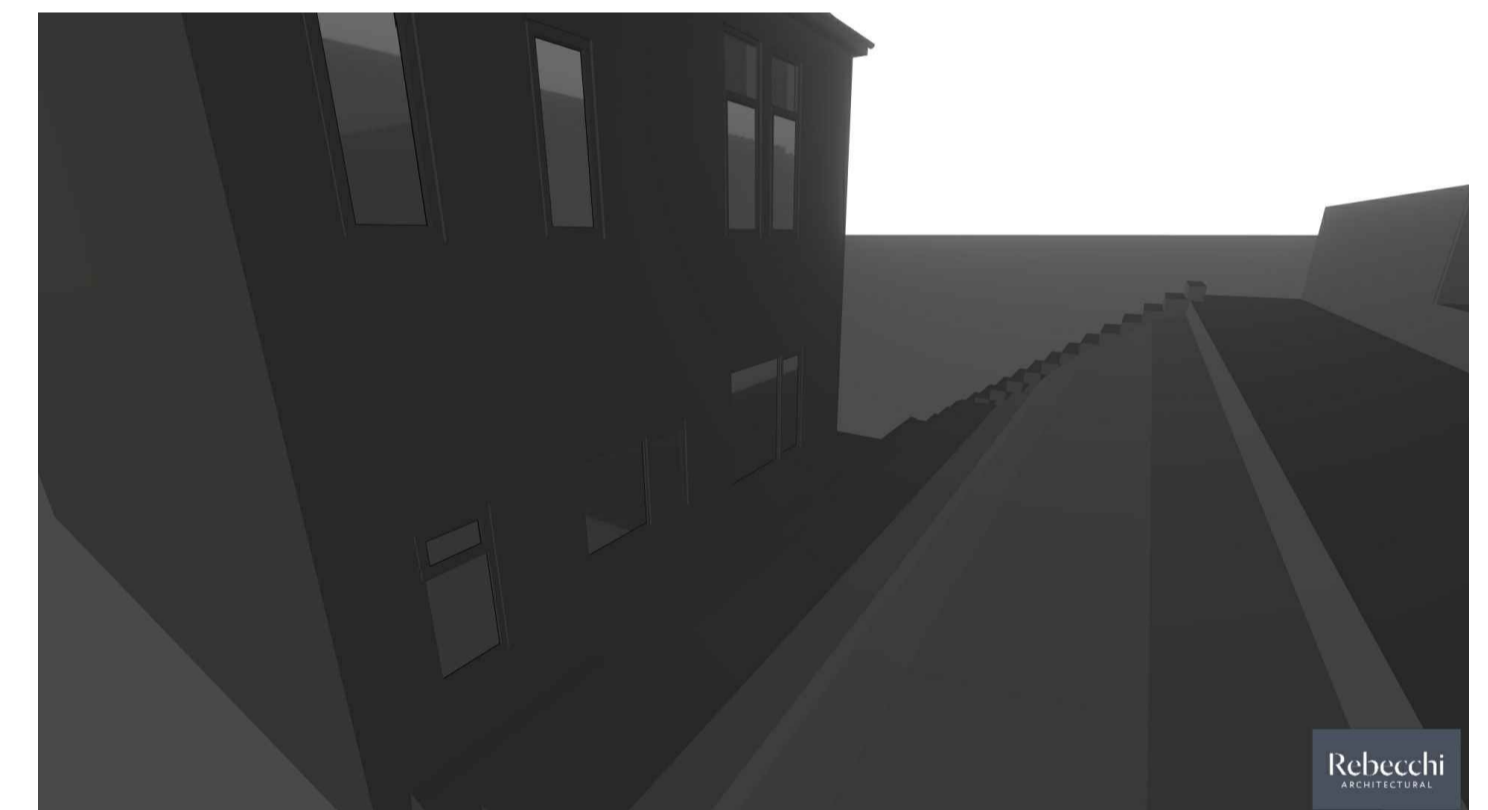
February 7pm



February 7pm



February 7pm



February 7pm



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 Gourrock  
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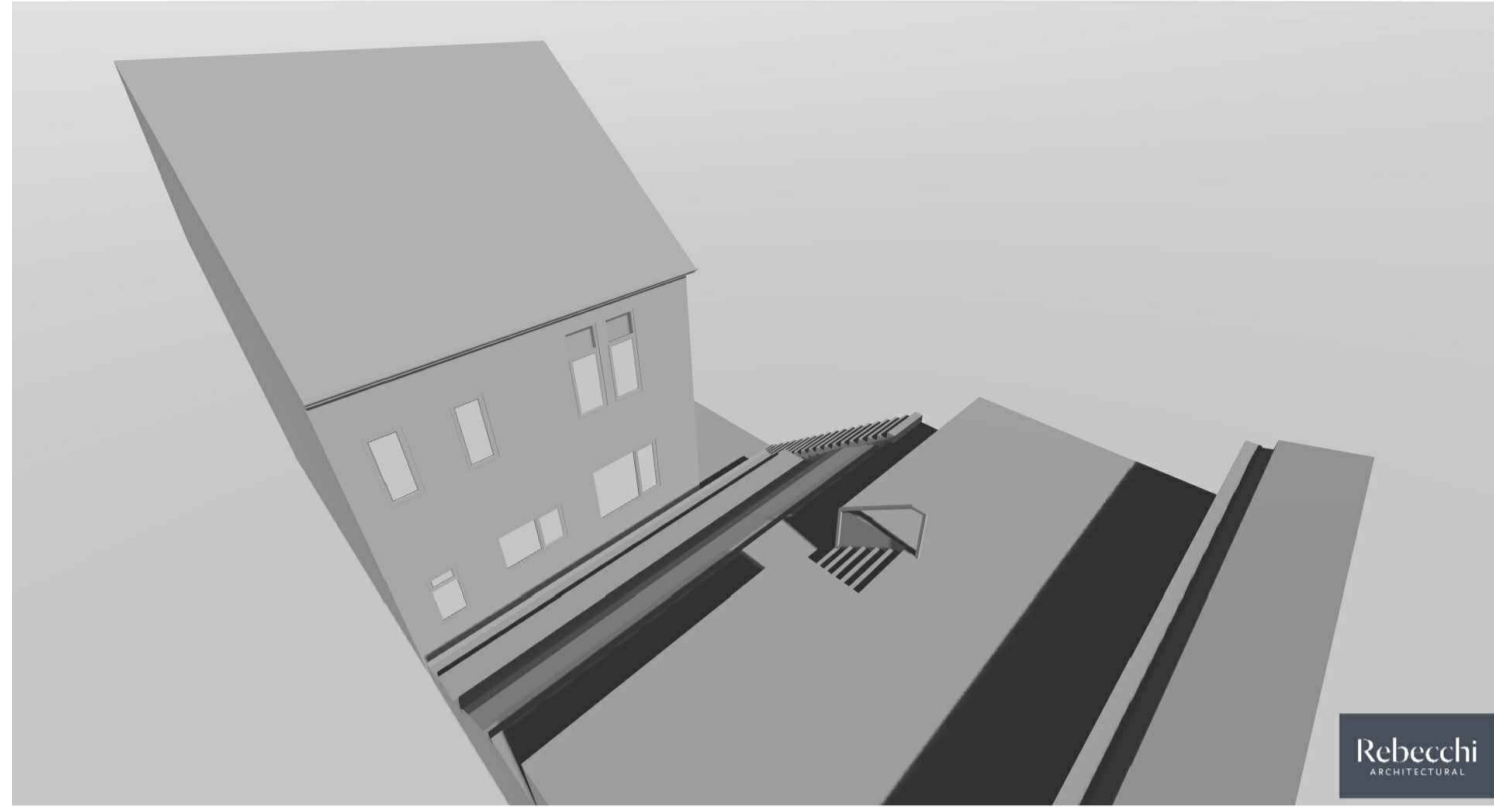
Client  
James McConnachie

Project Title  
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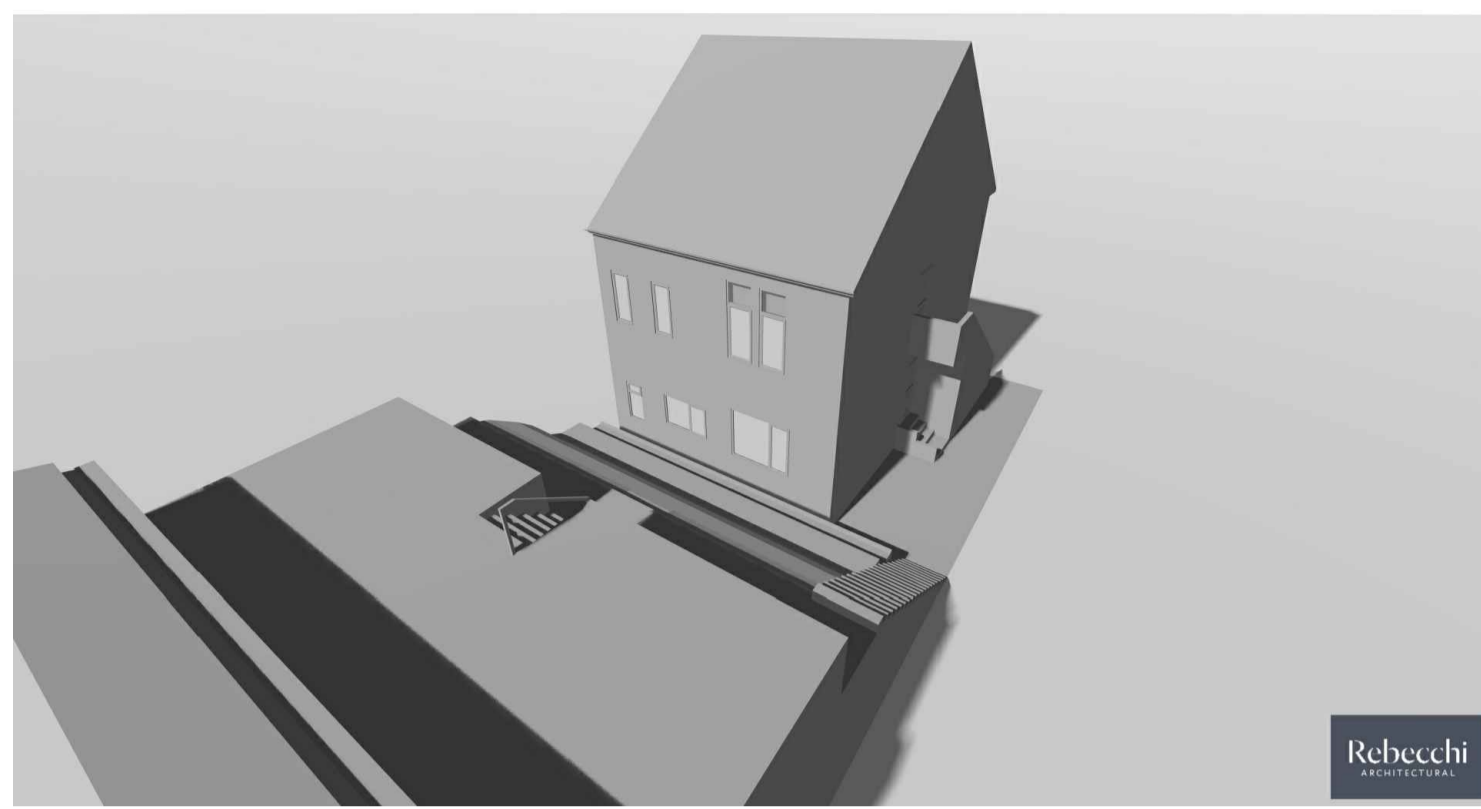
Drawing Title  
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Scale	Size	Date
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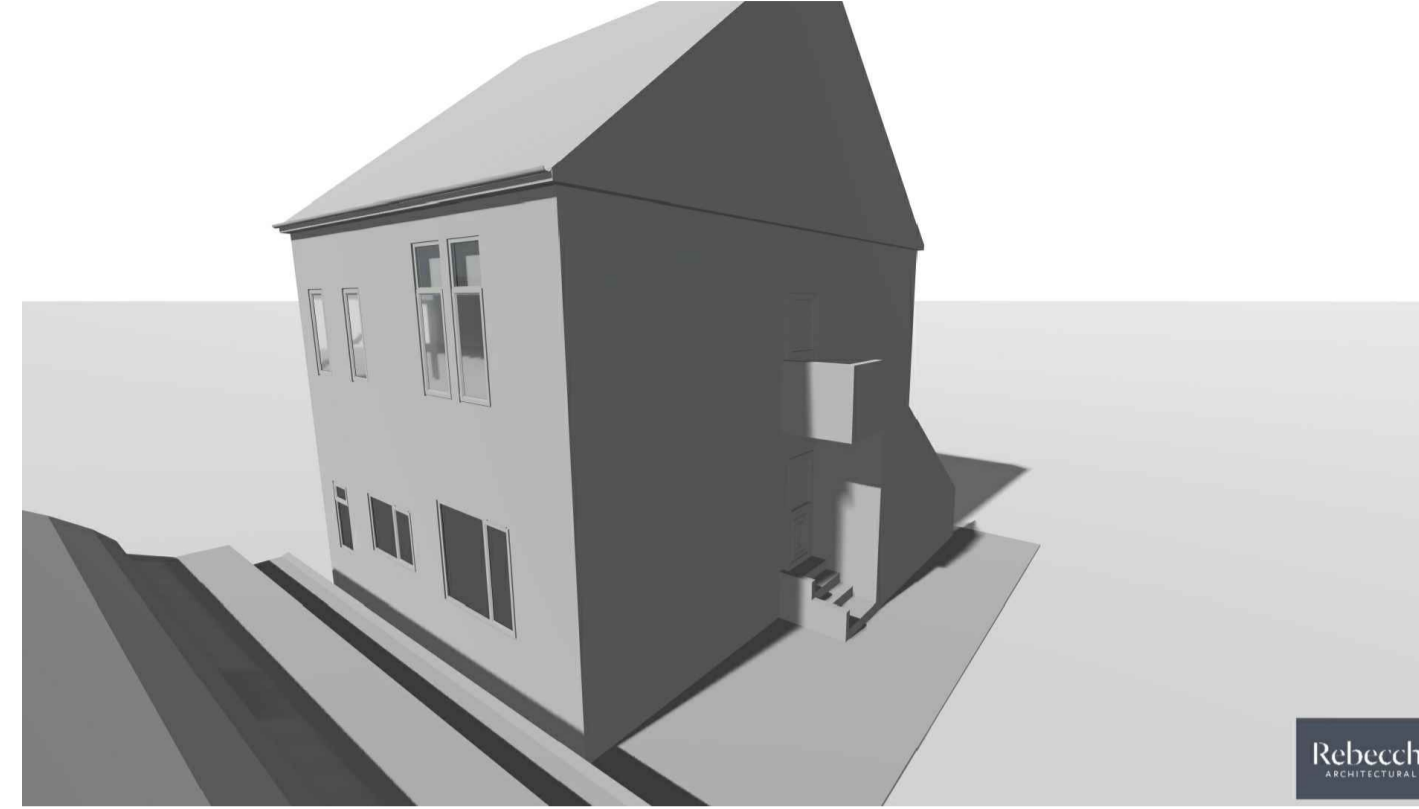
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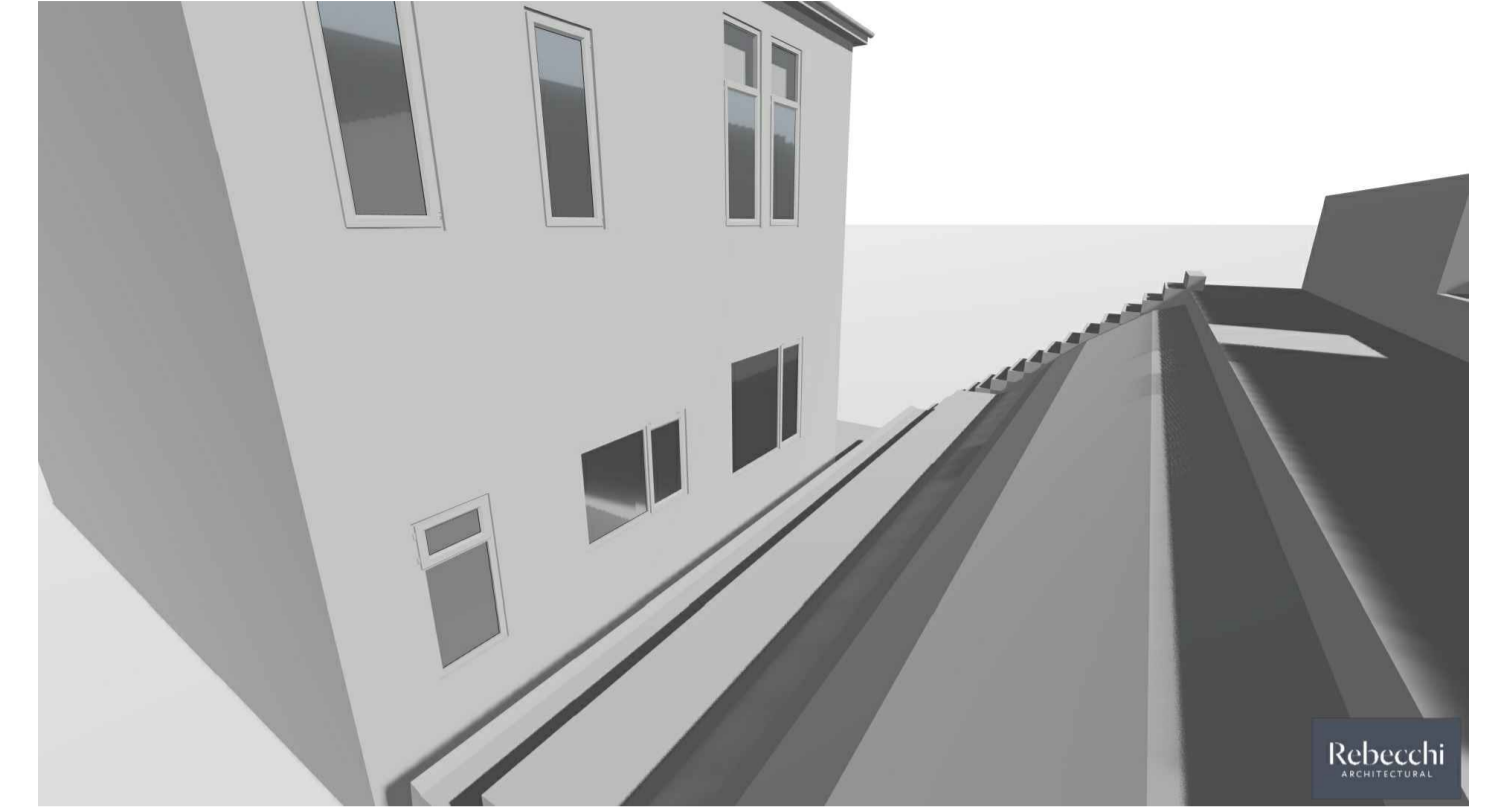
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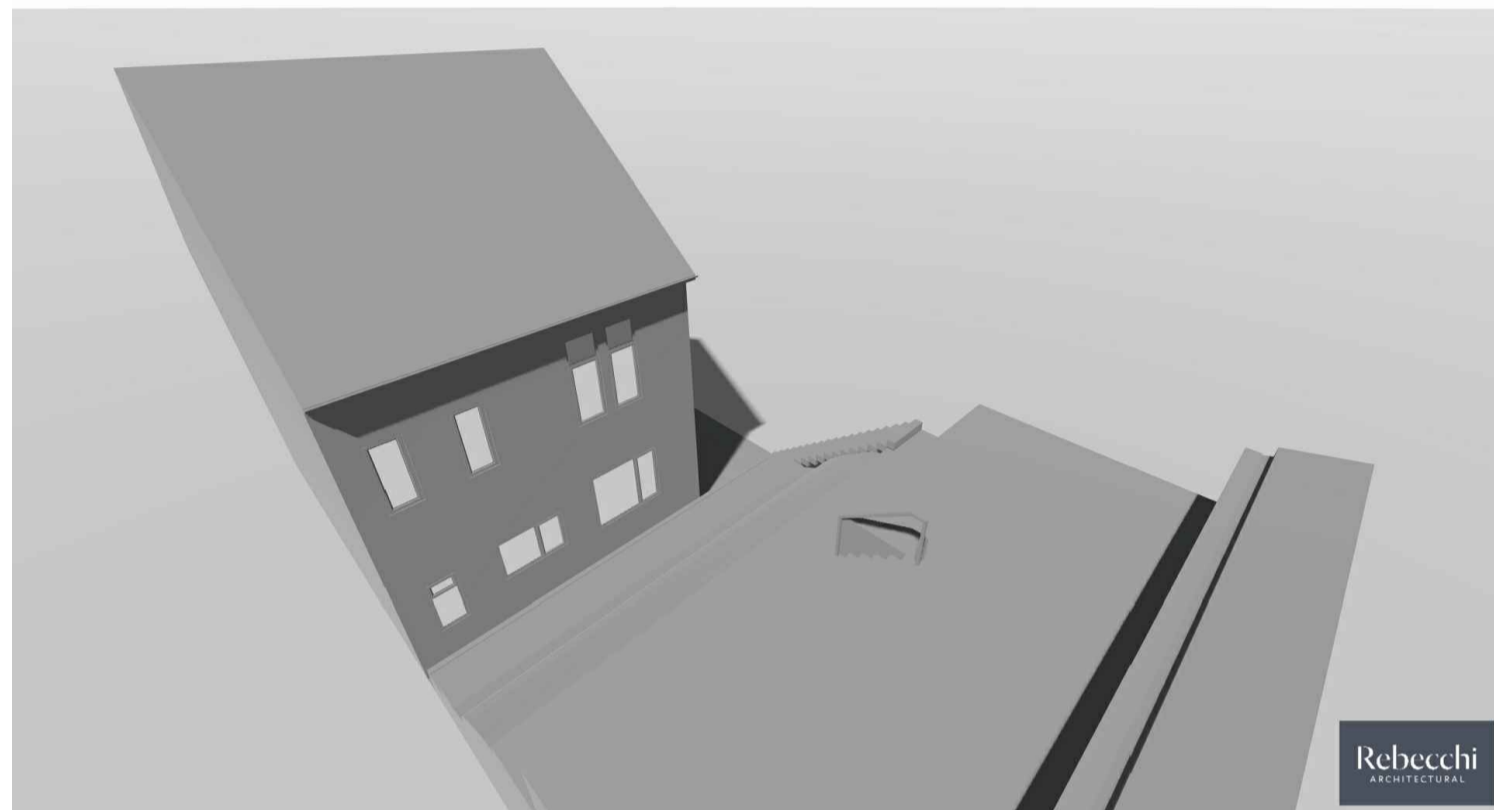
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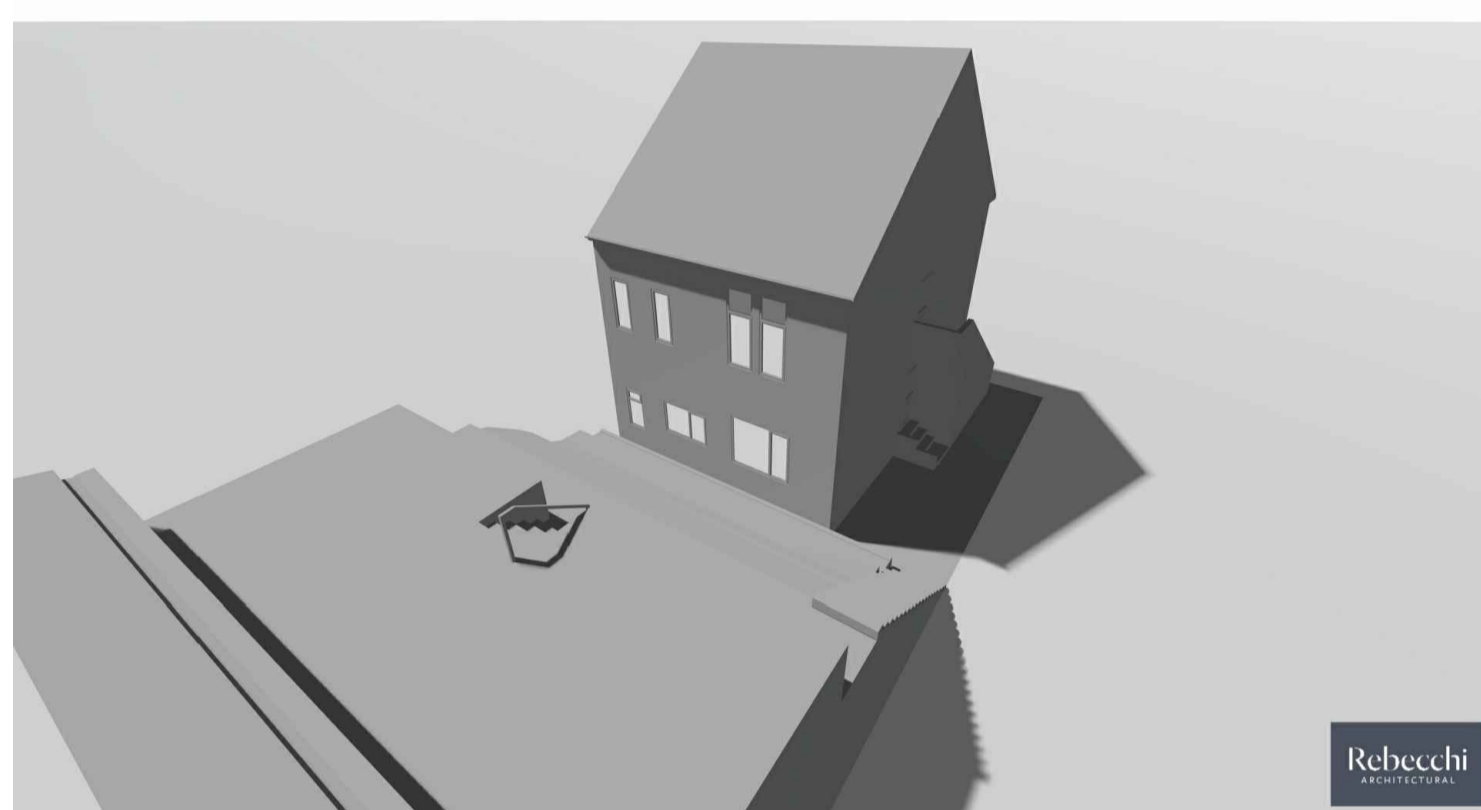
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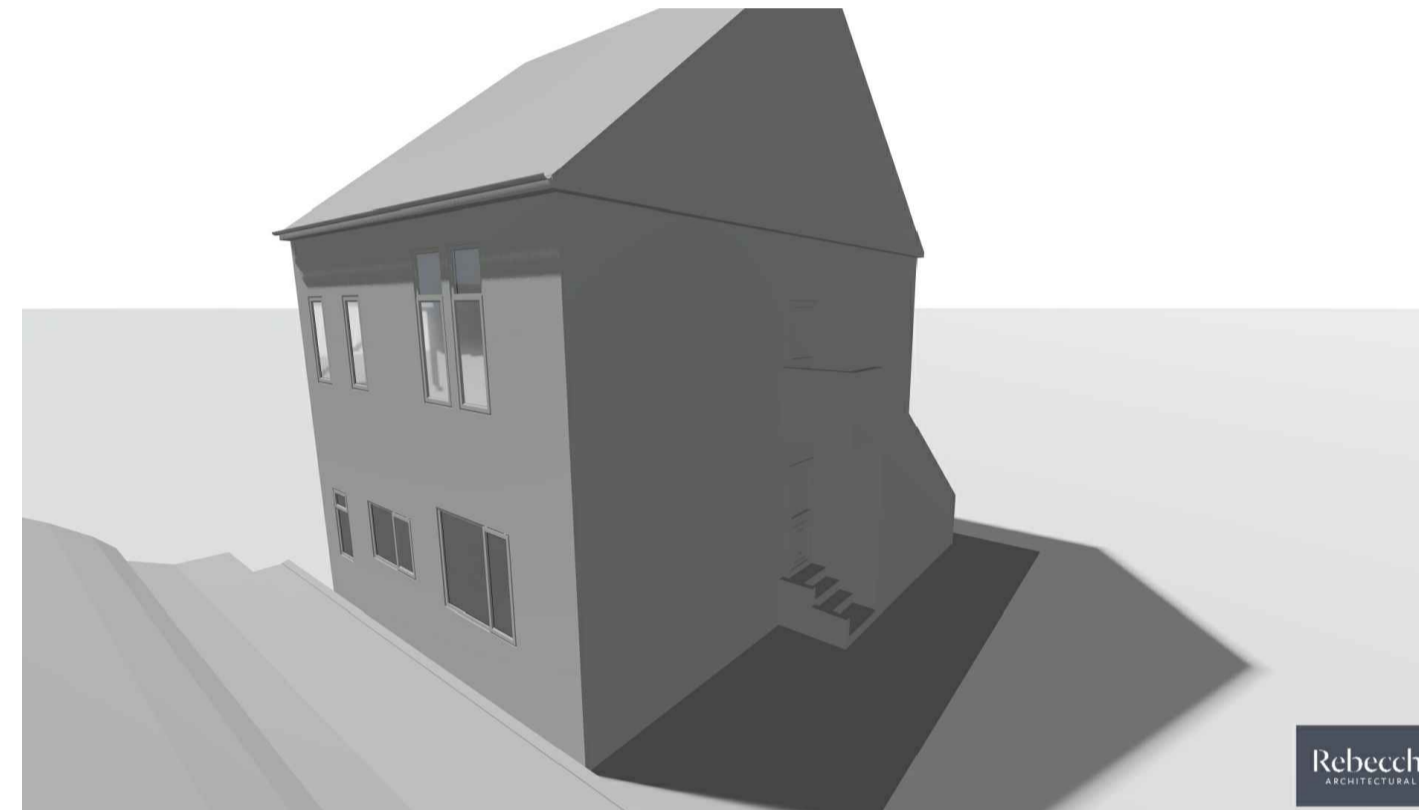
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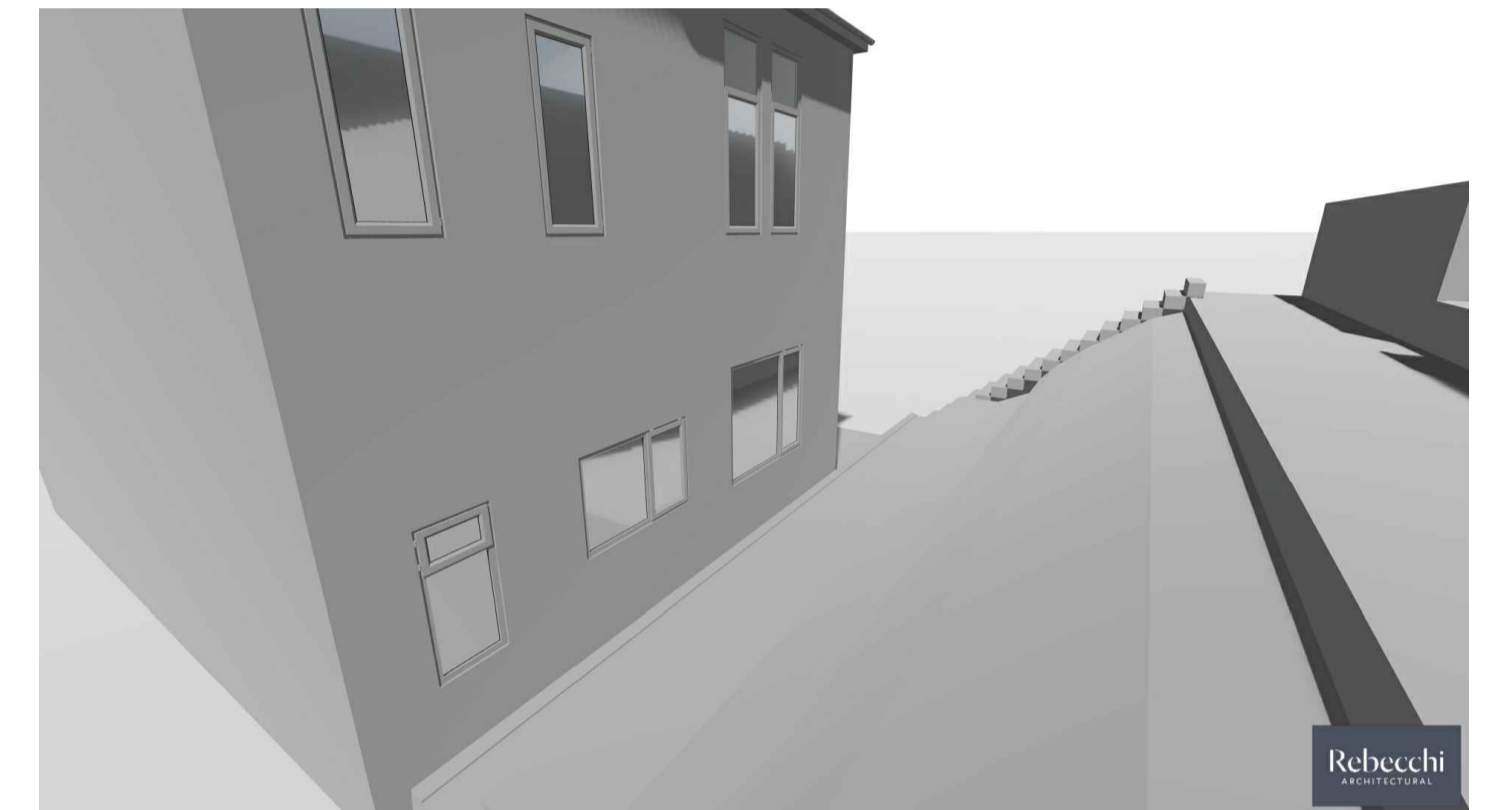
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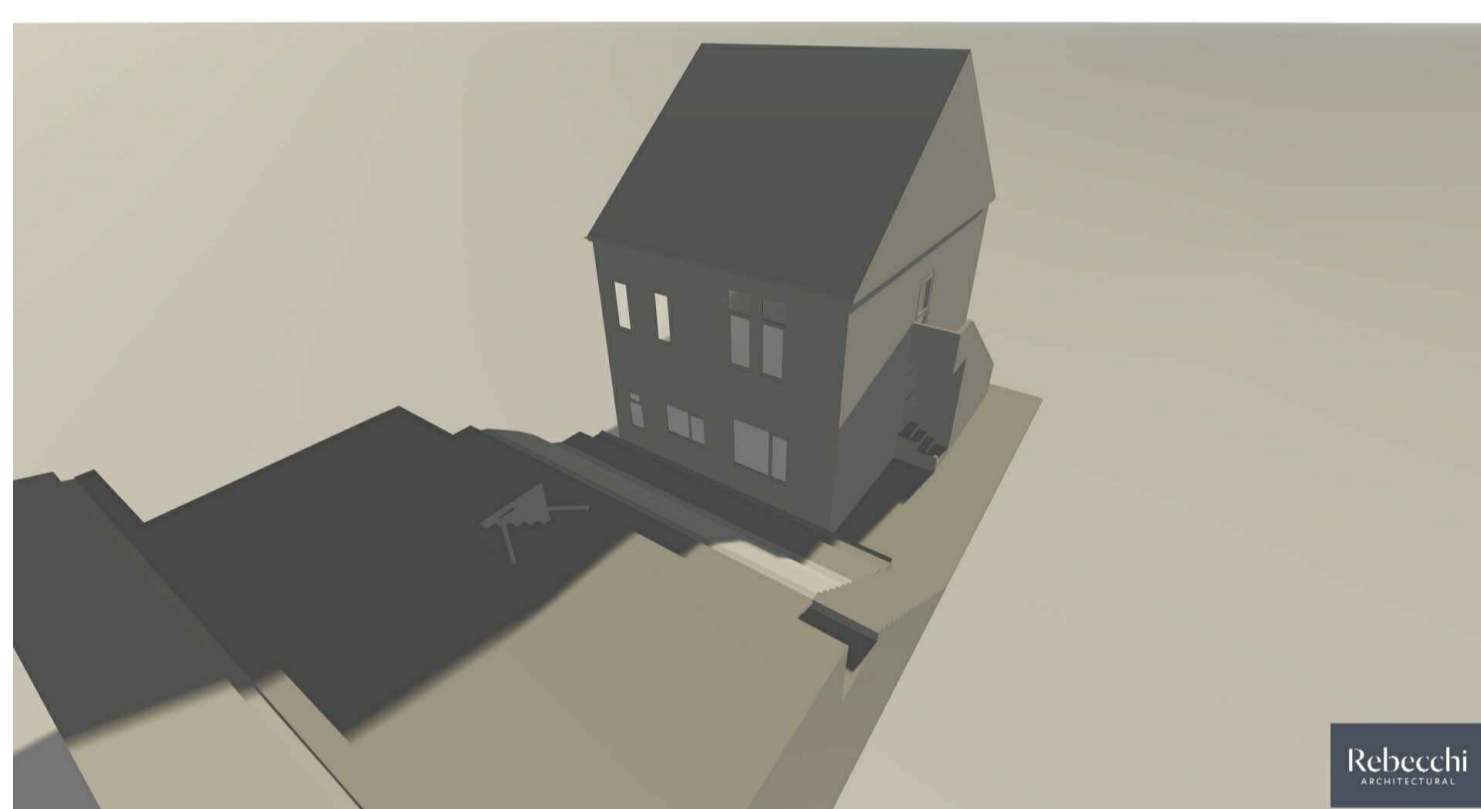
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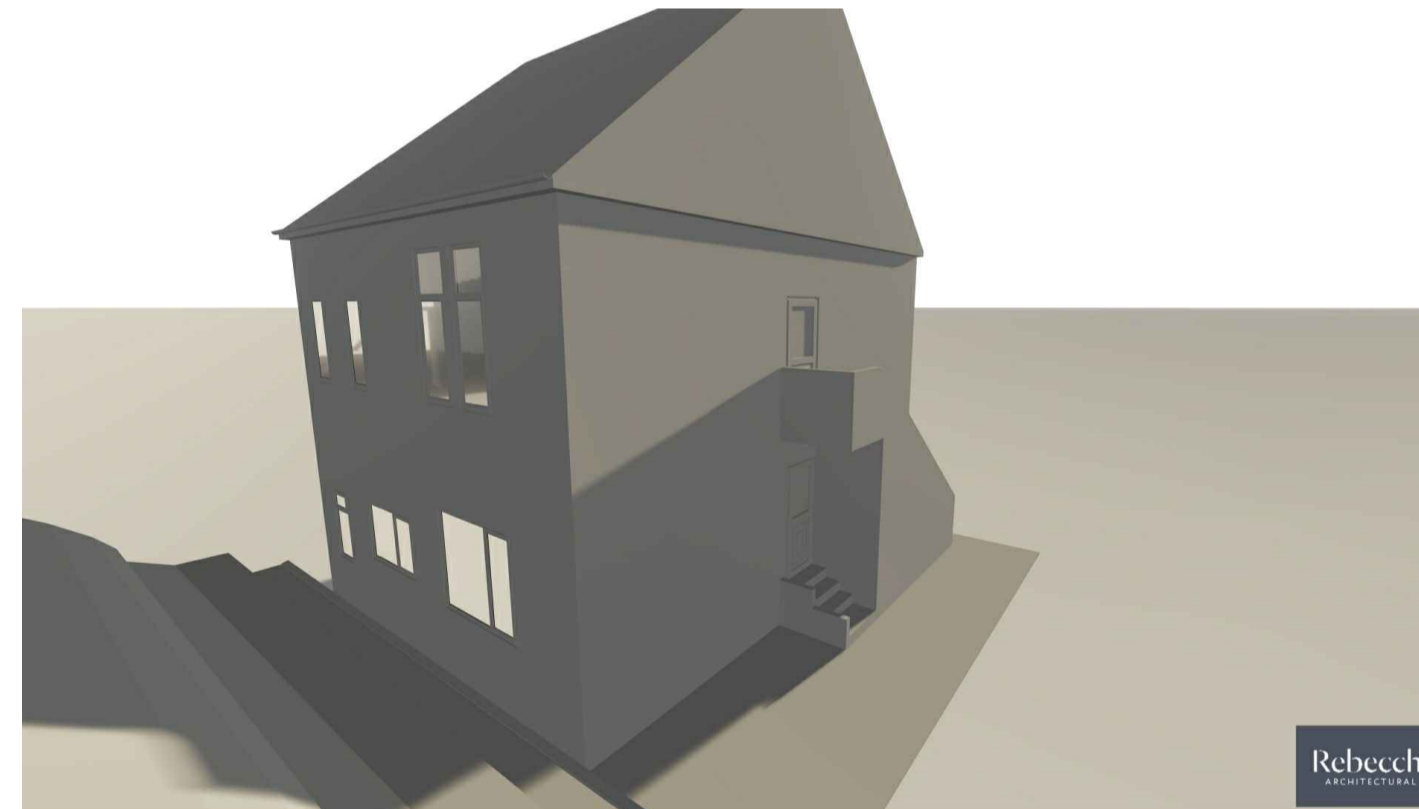
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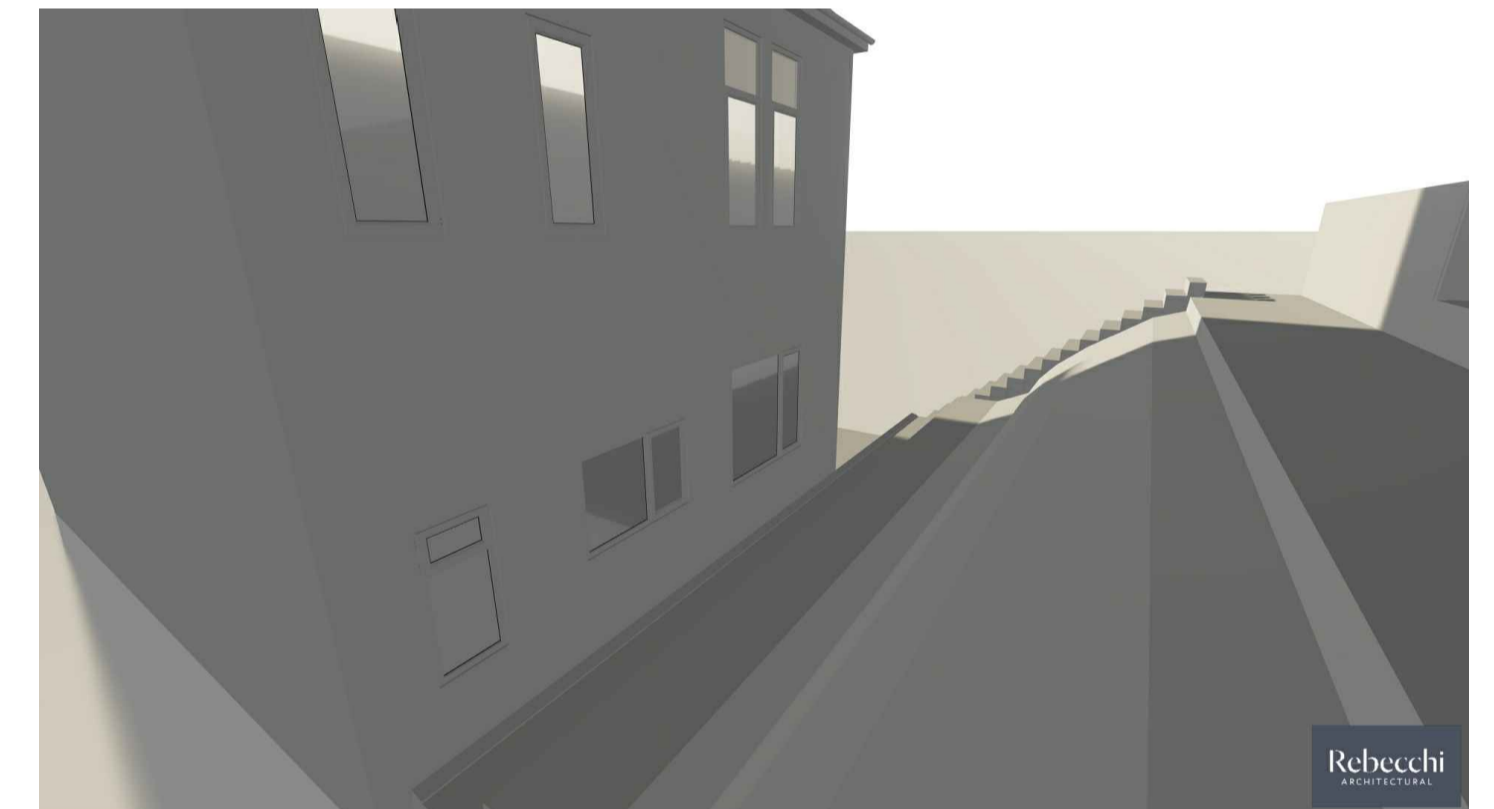
June 7pm



June 7pm



June 7pm



June 7pm



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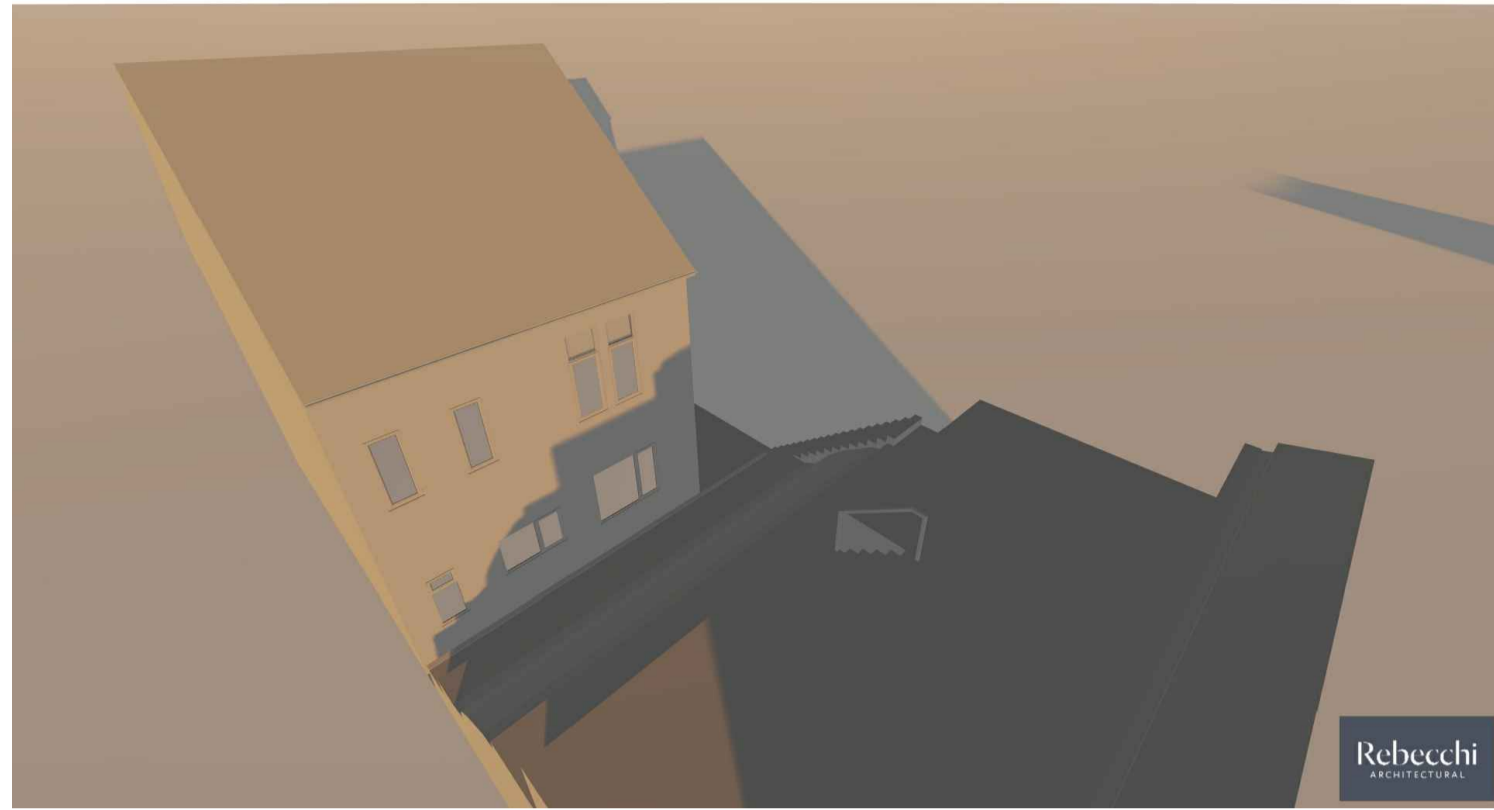
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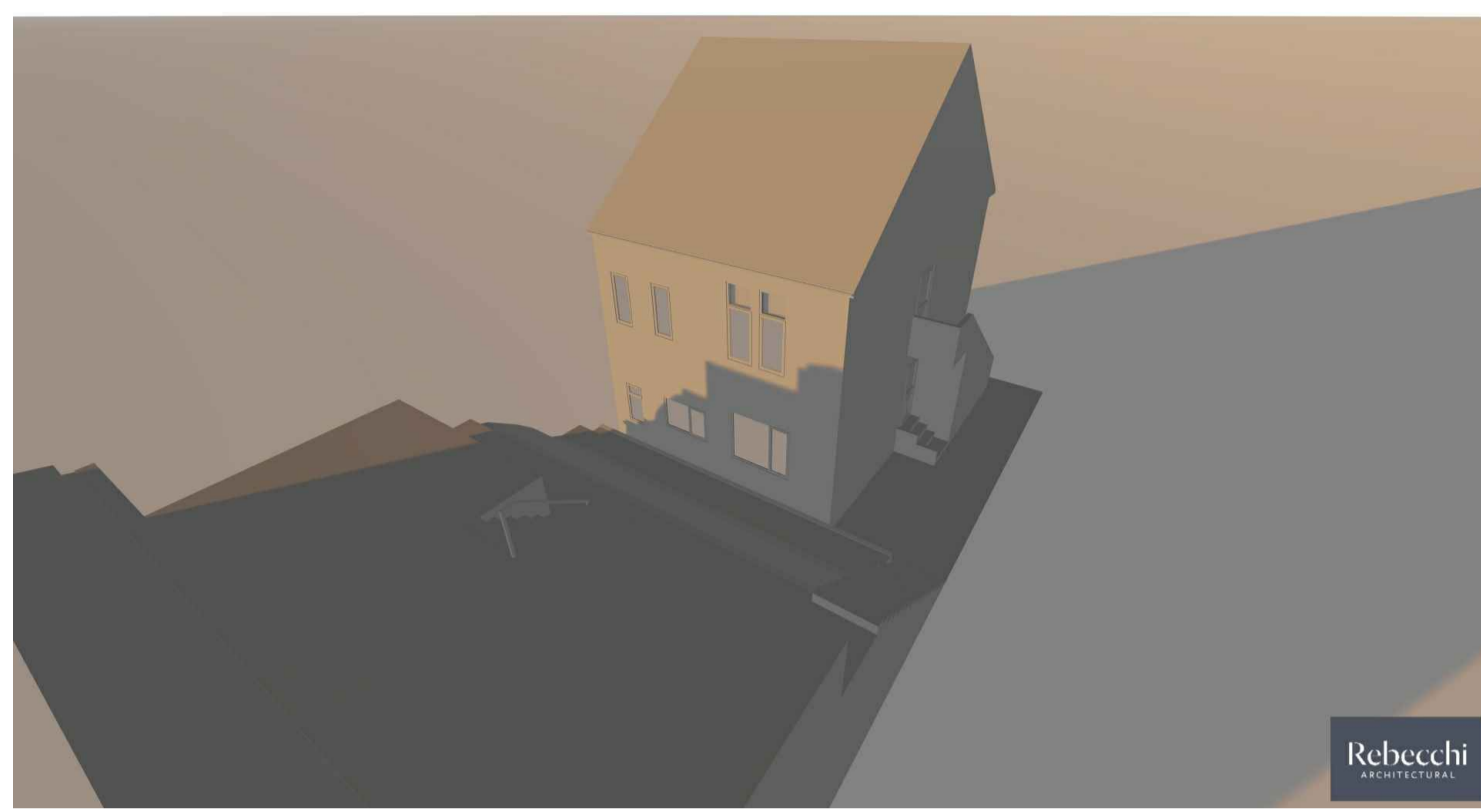
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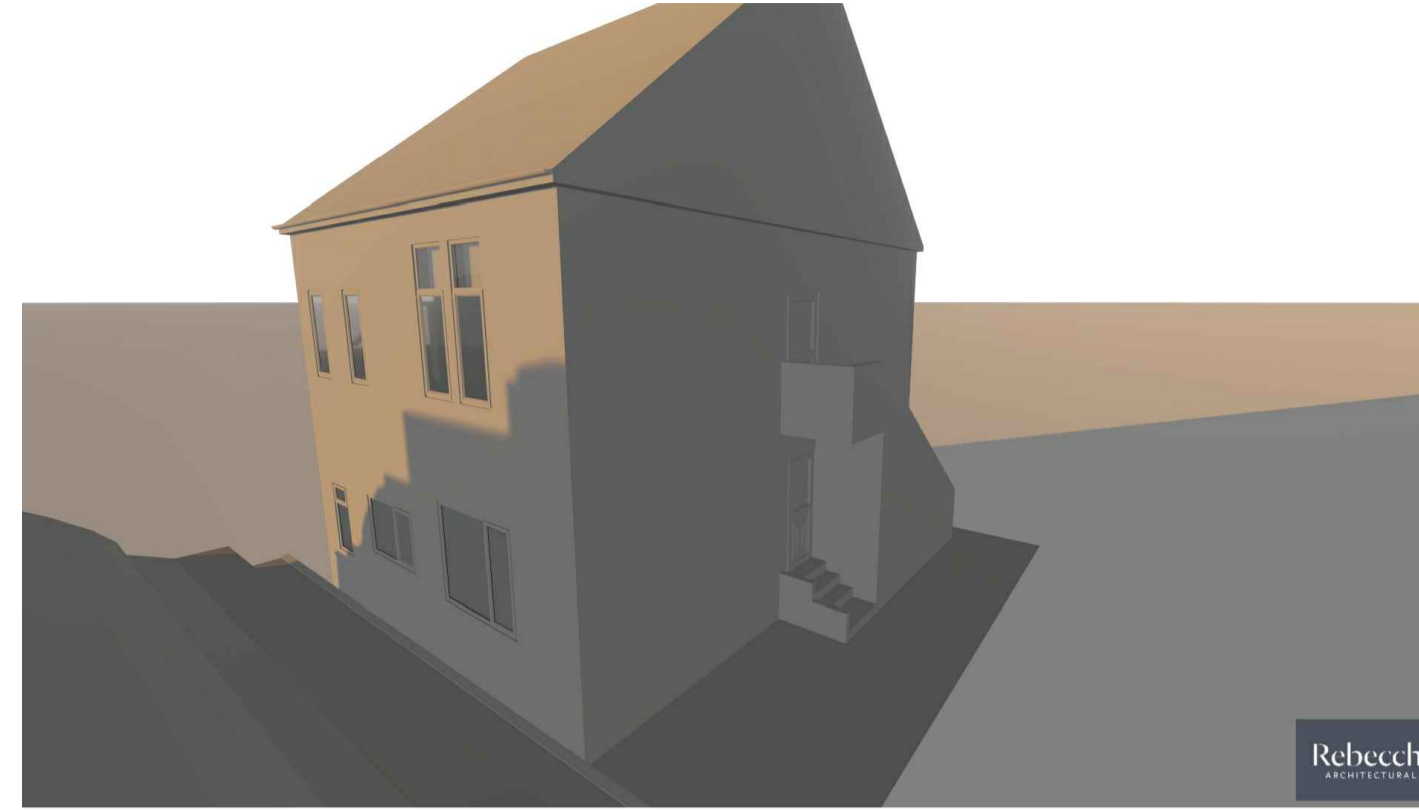
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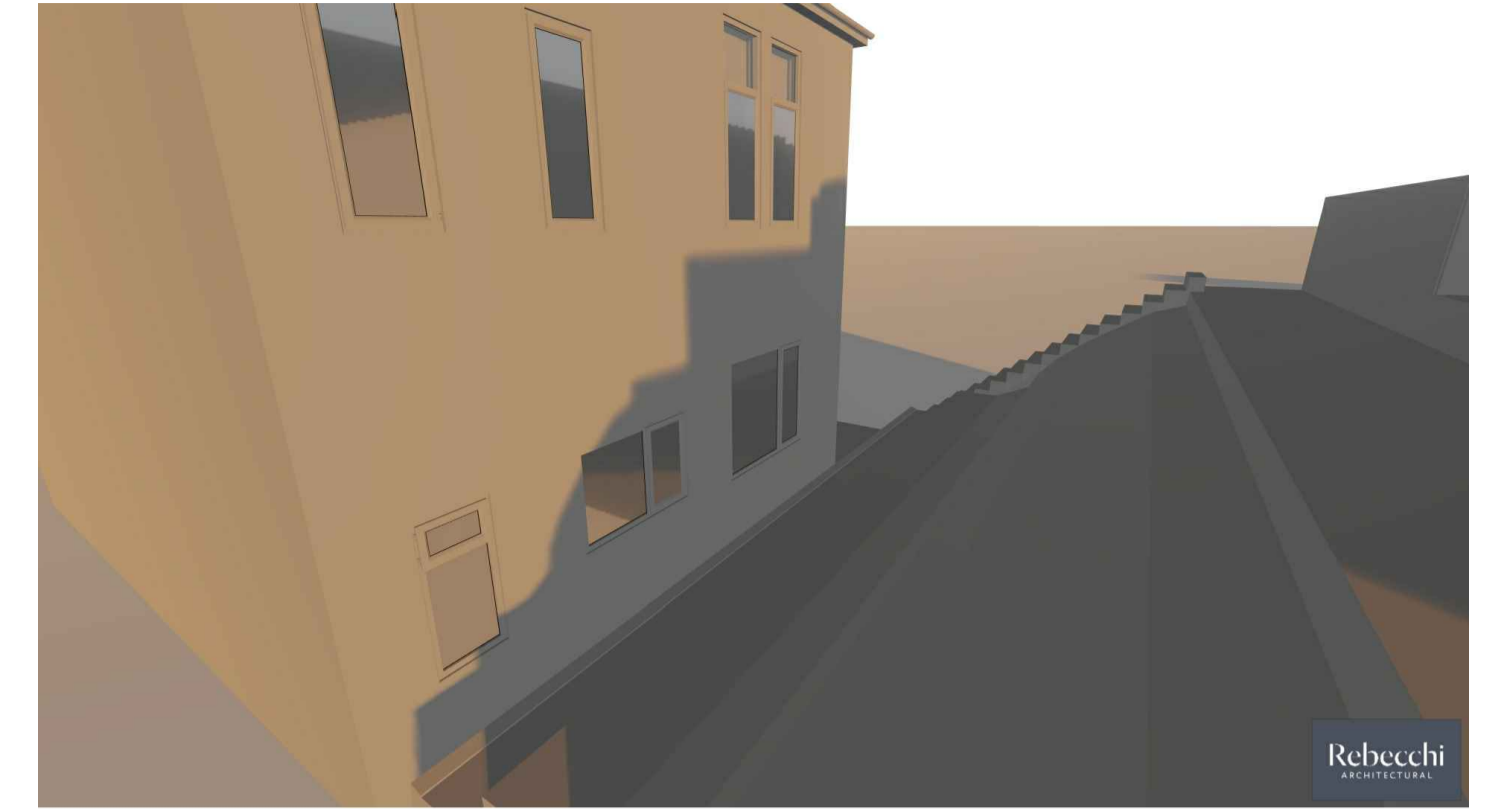
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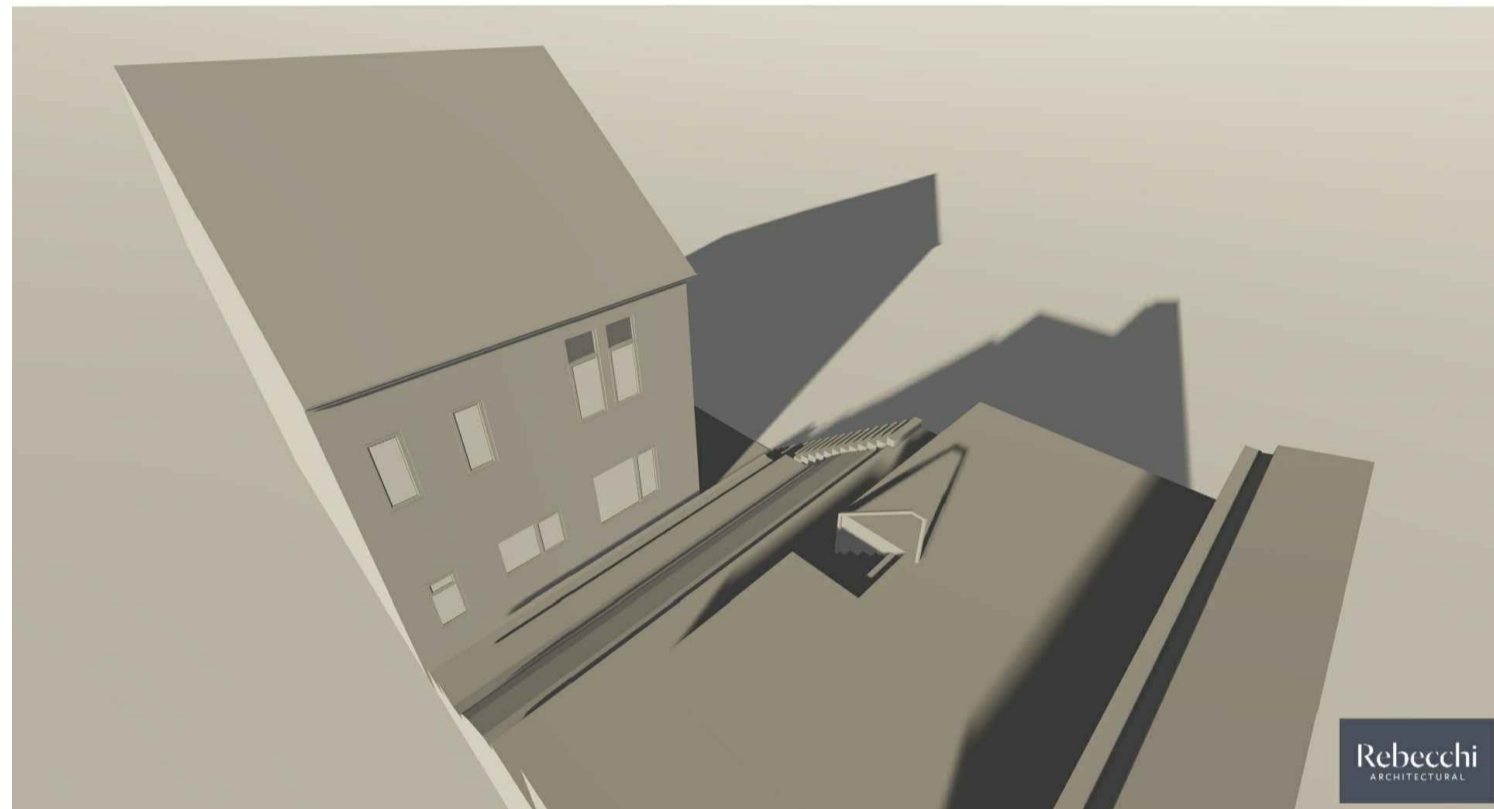
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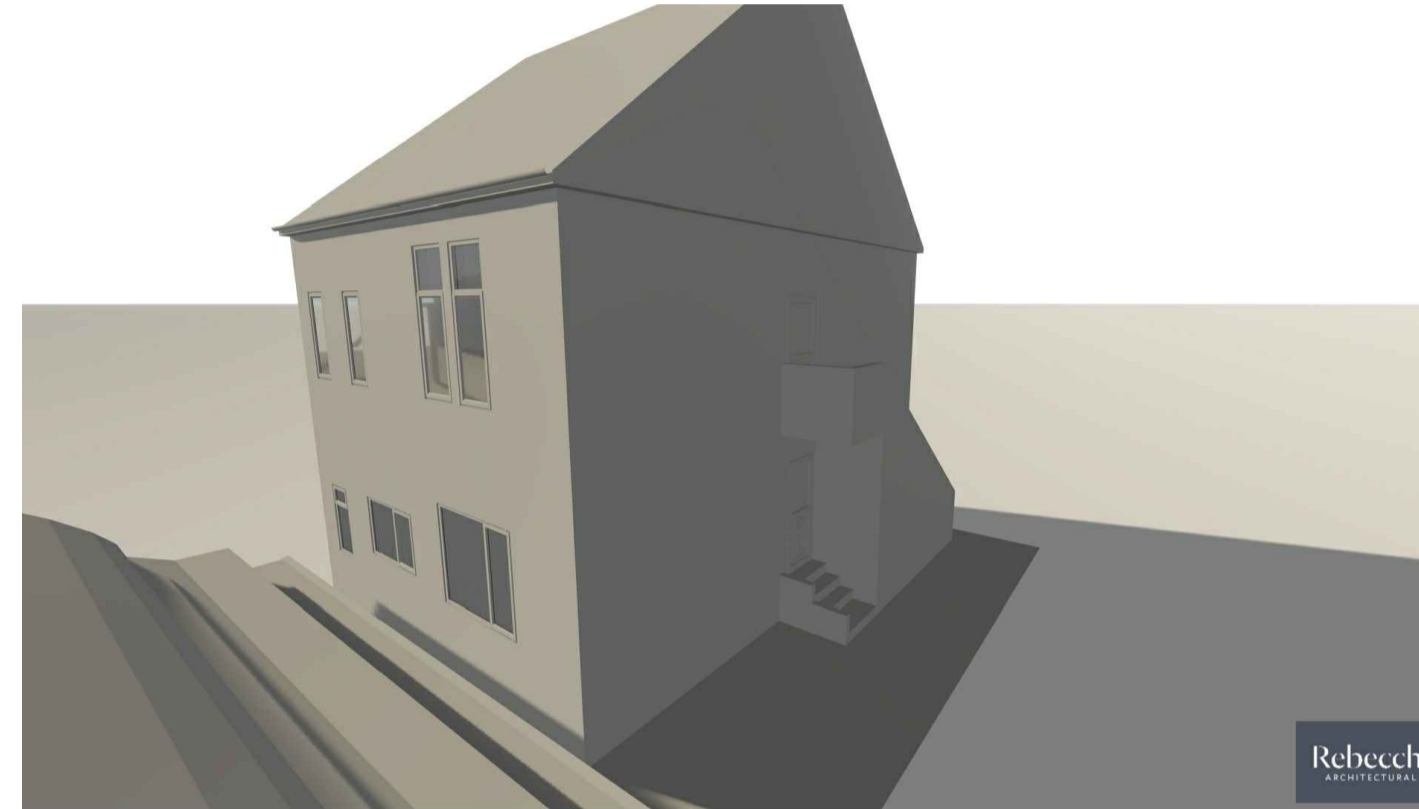
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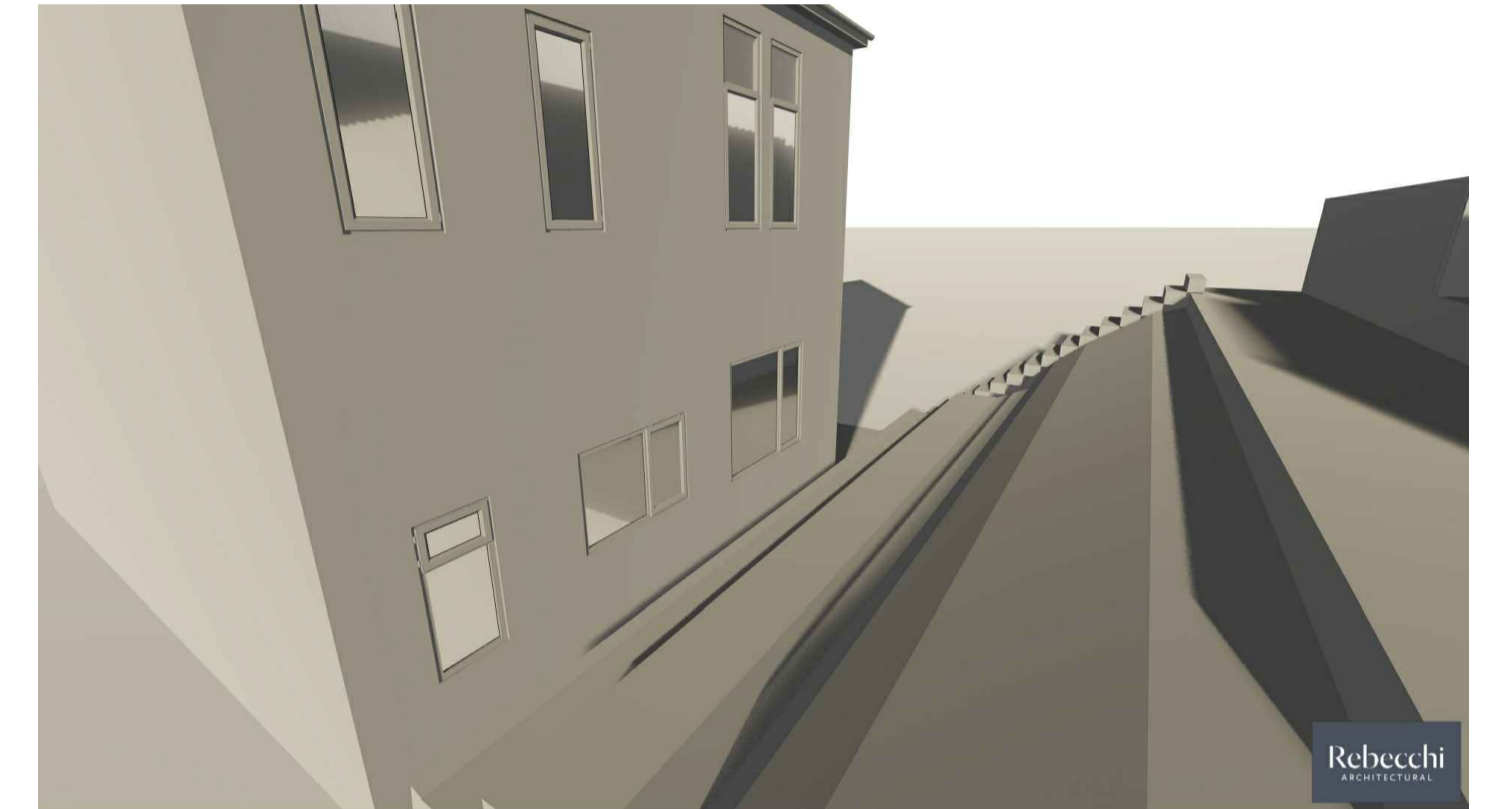
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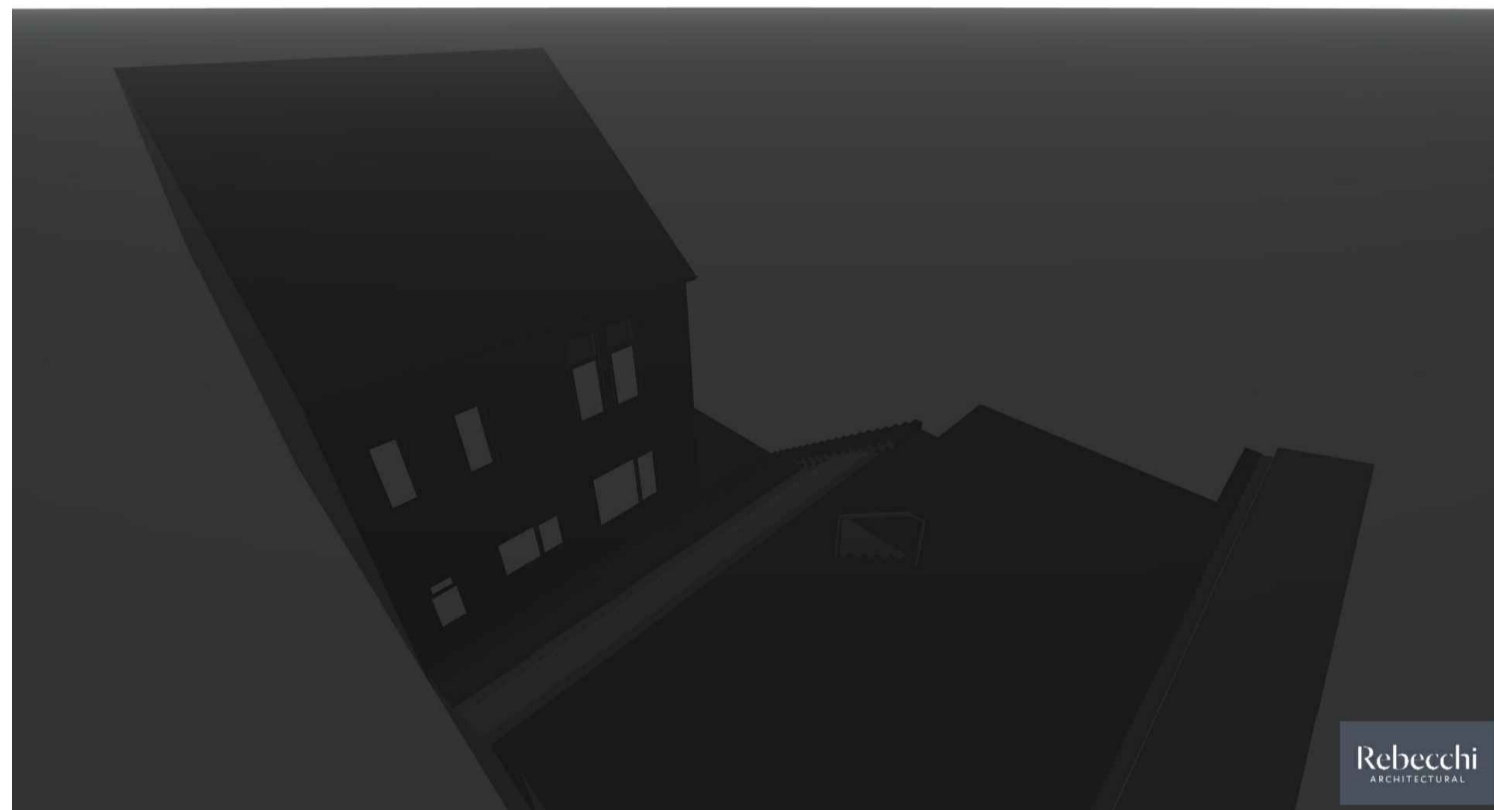
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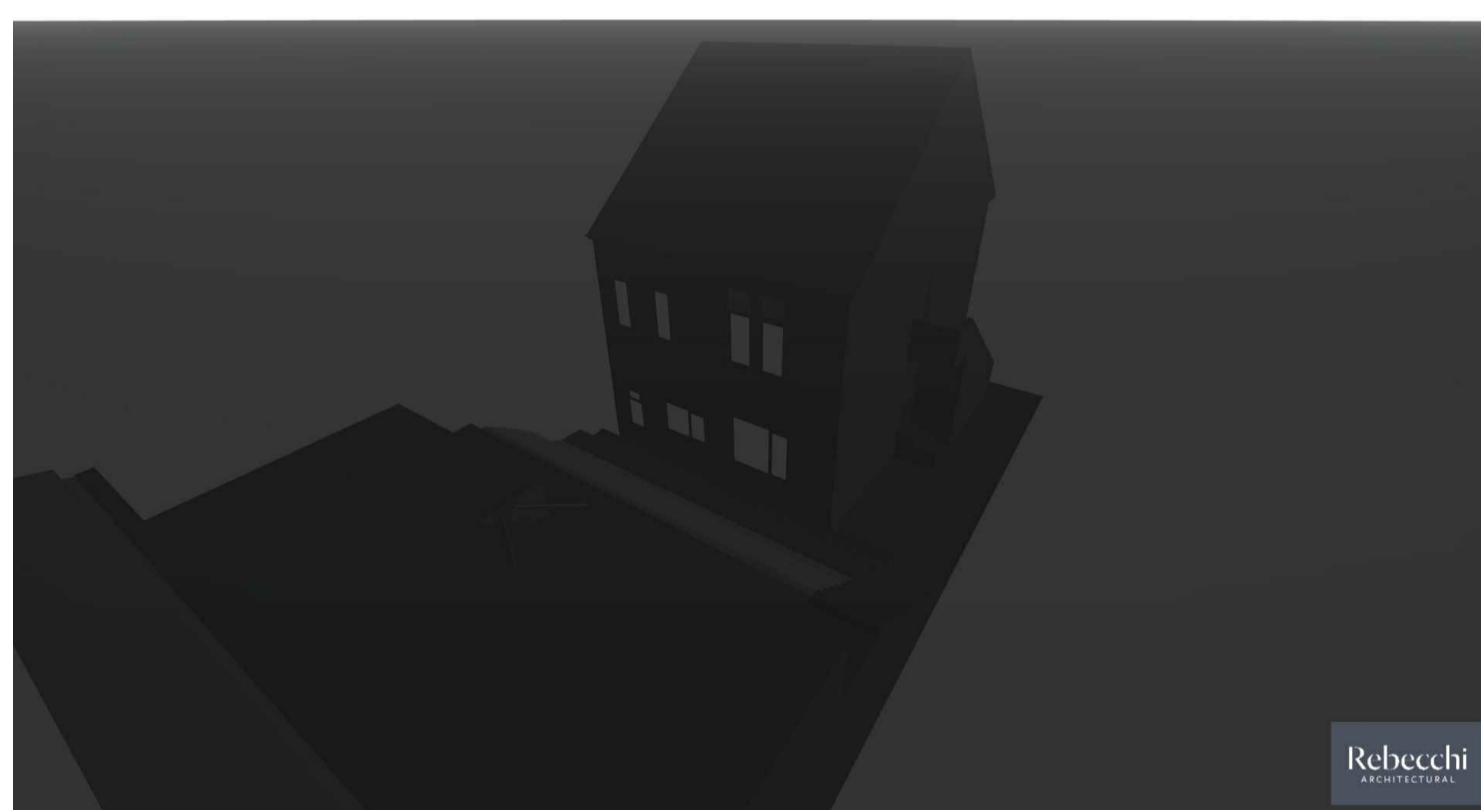
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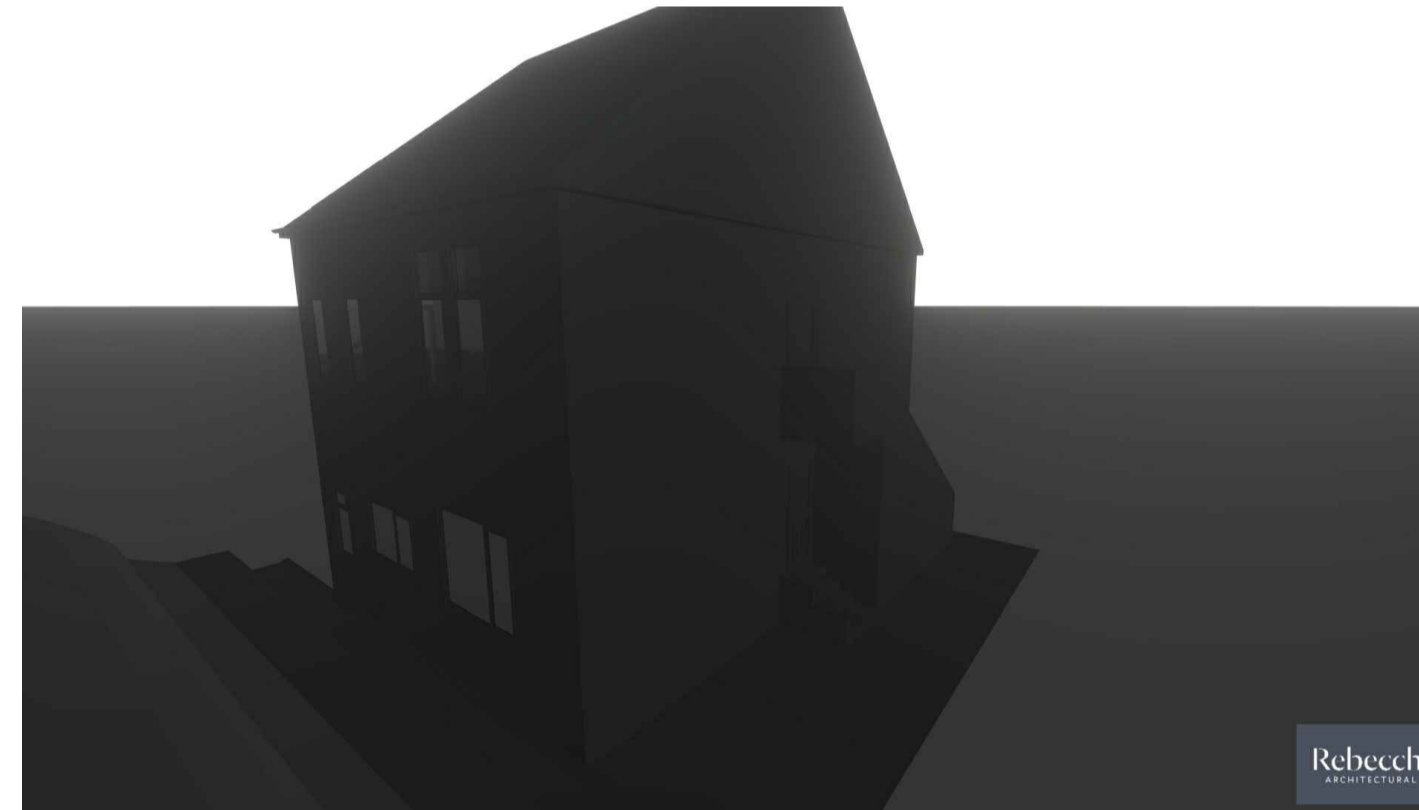
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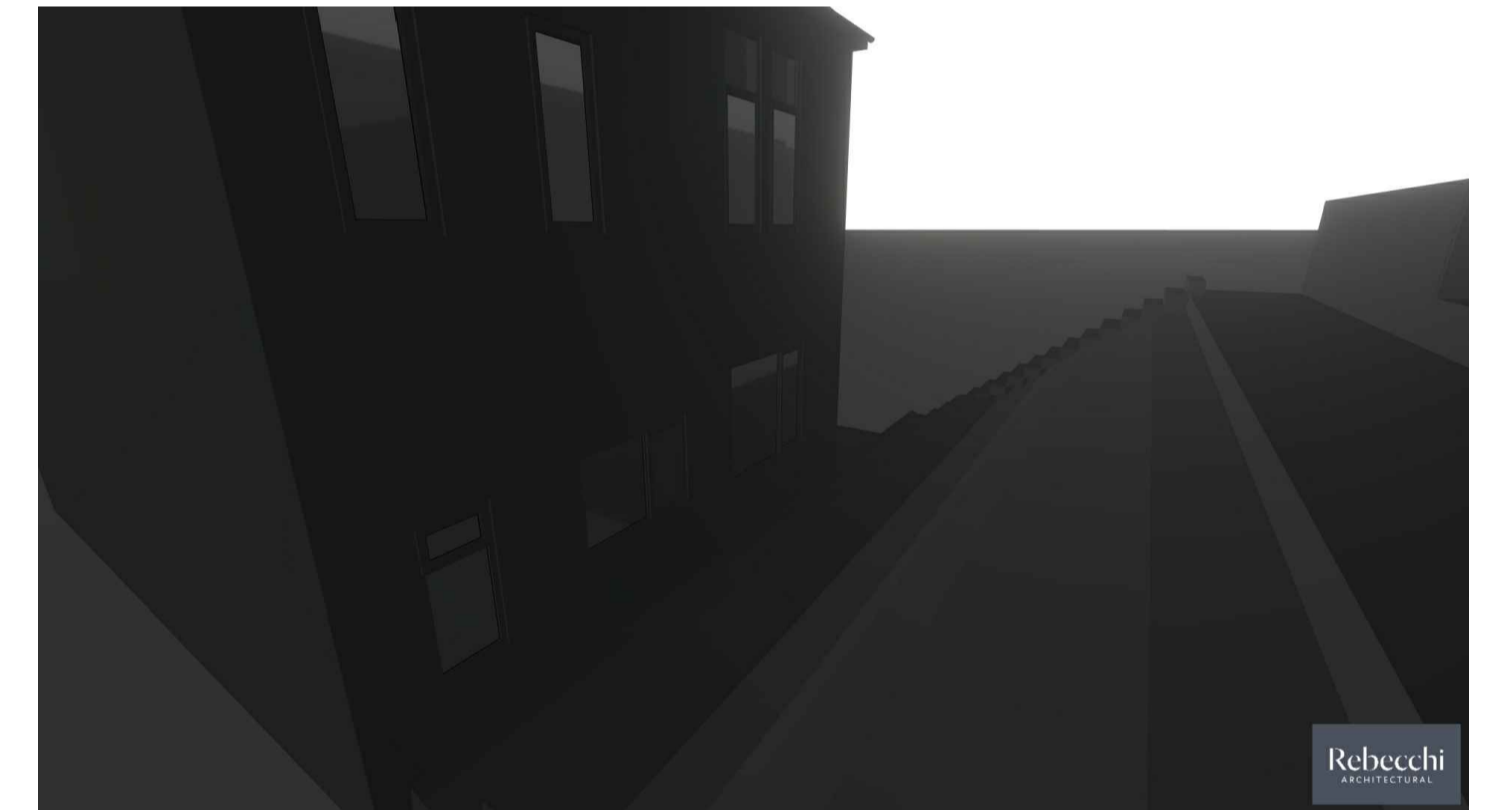
November 7pm



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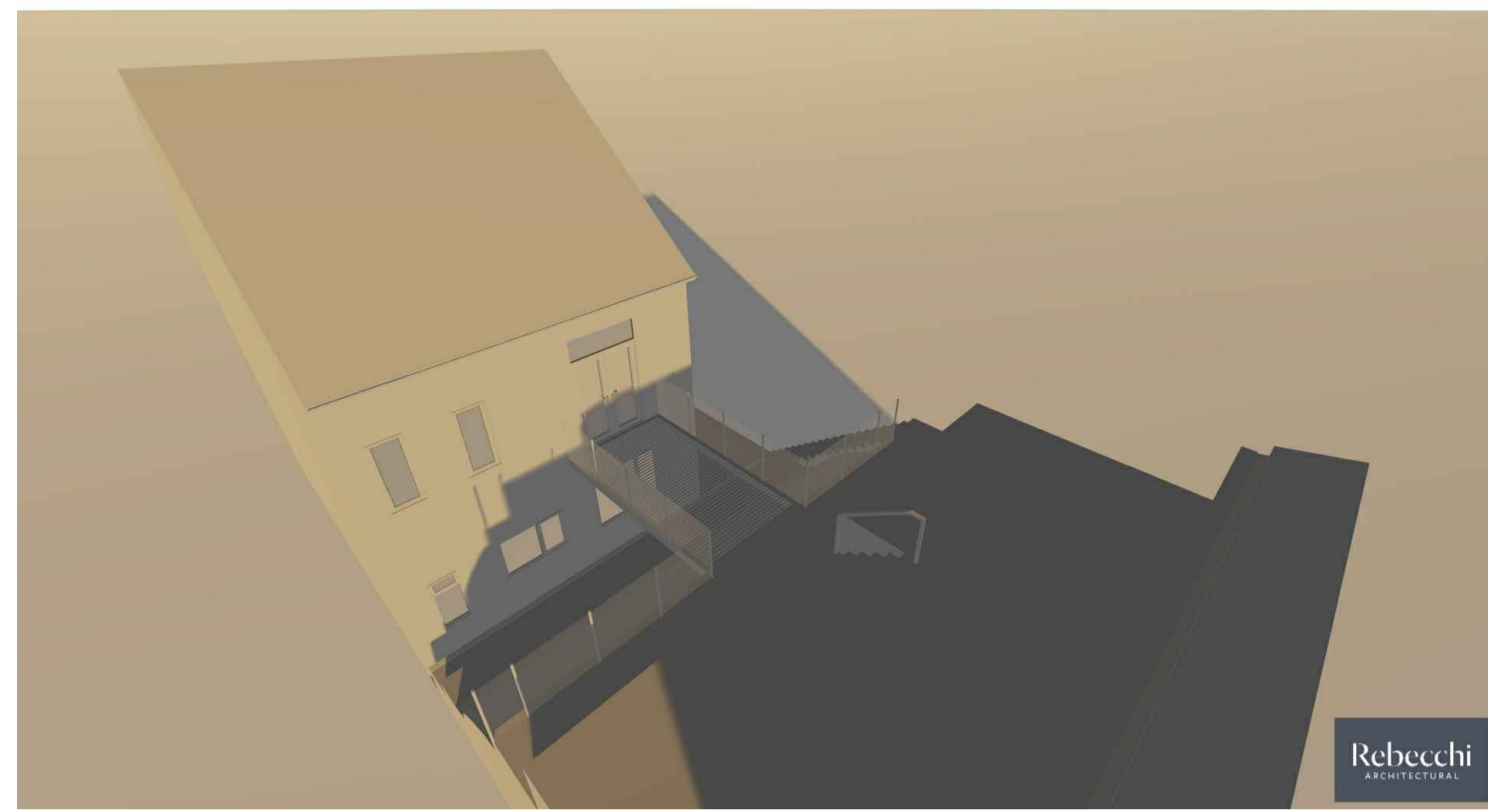
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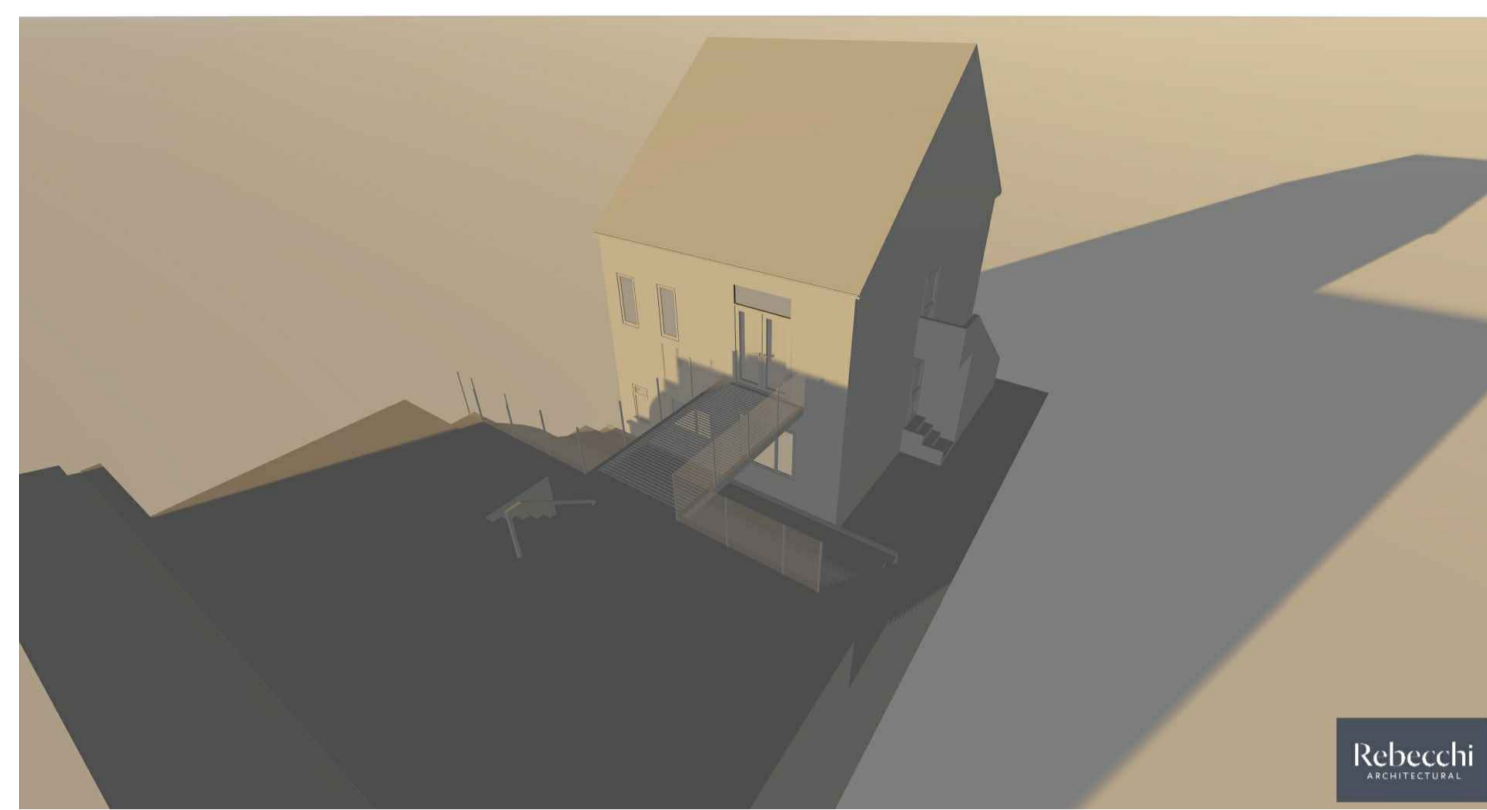
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Scale	Size	Date
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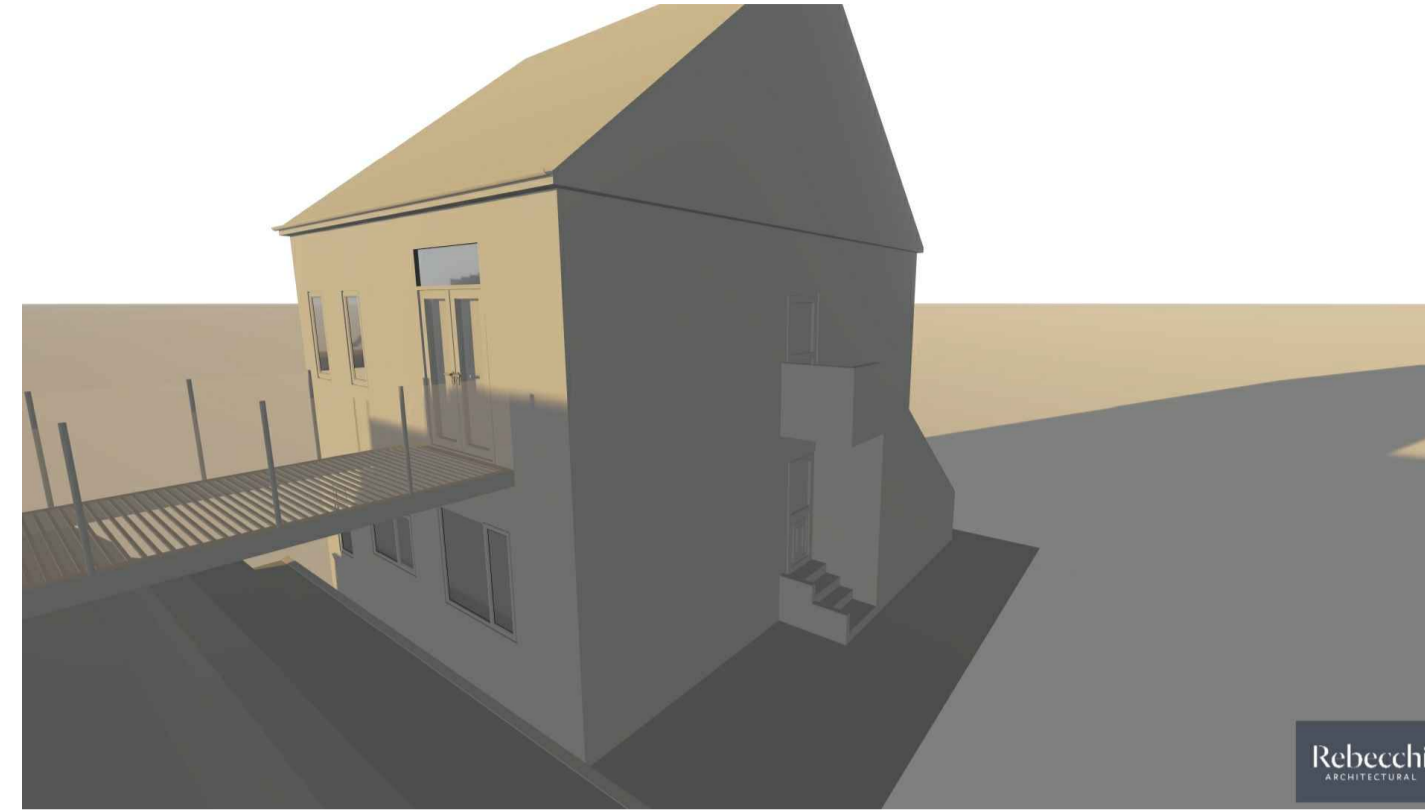
Job No.	Drawing No.	Revision
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February 9am



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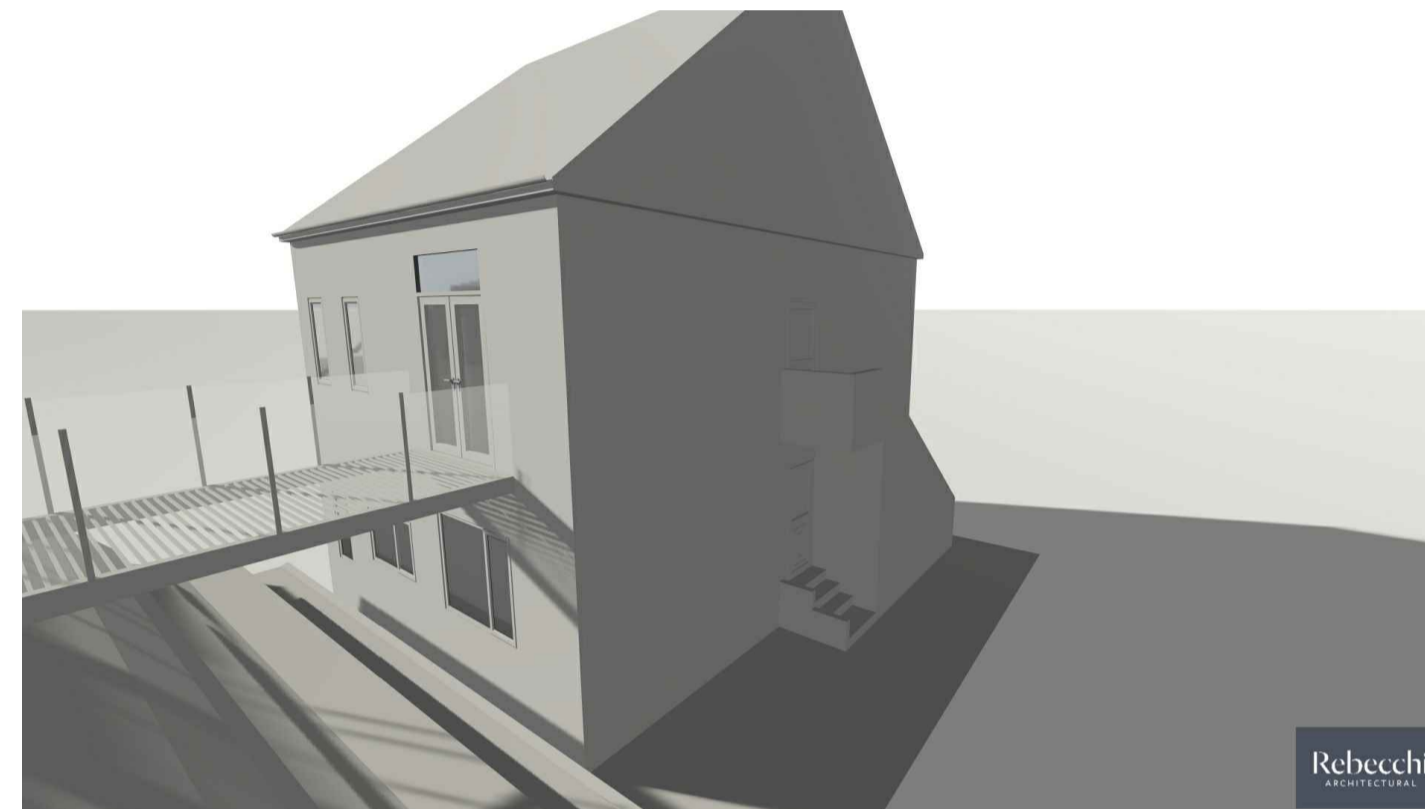
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February 12pm



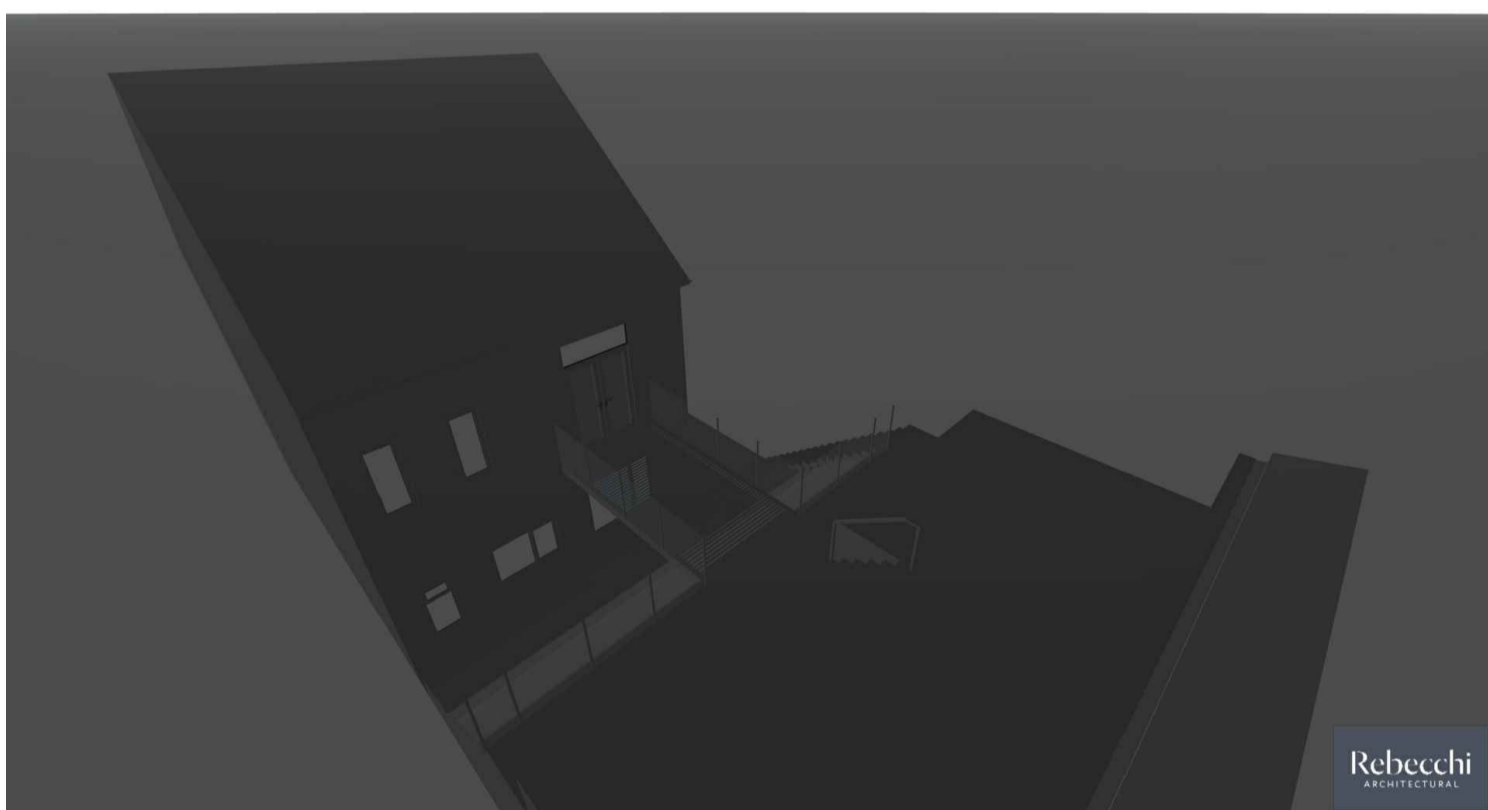
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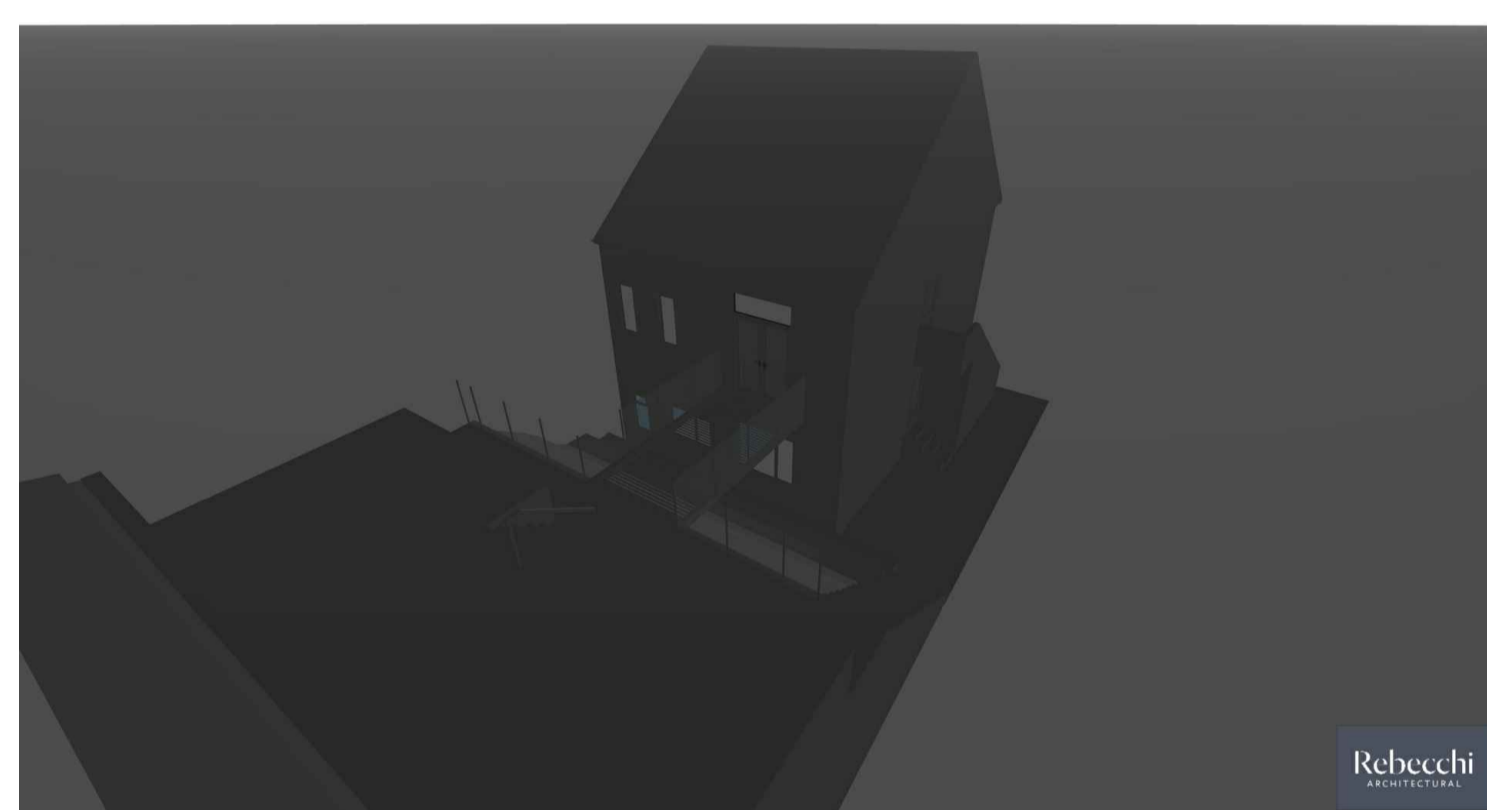
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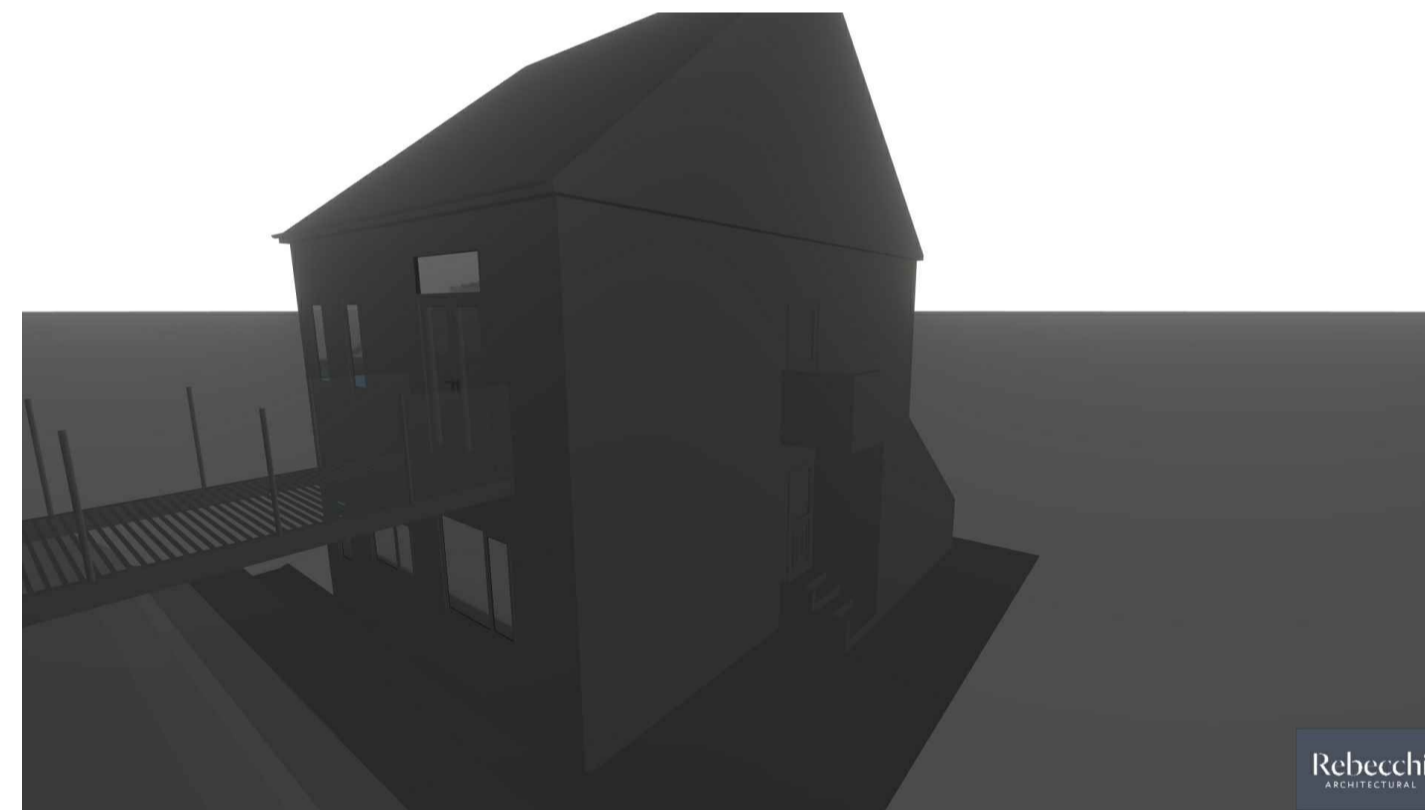
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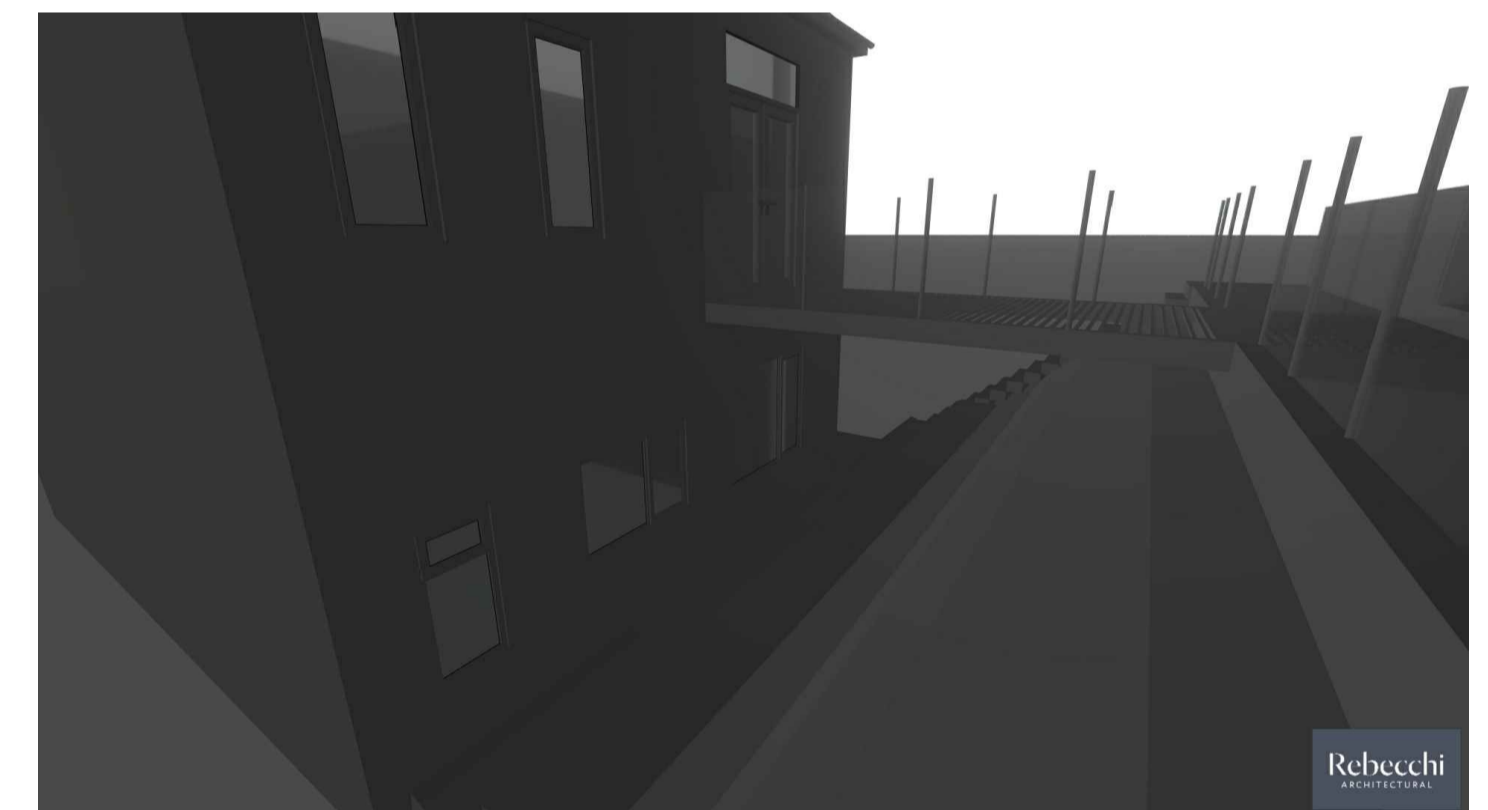
February 7pm



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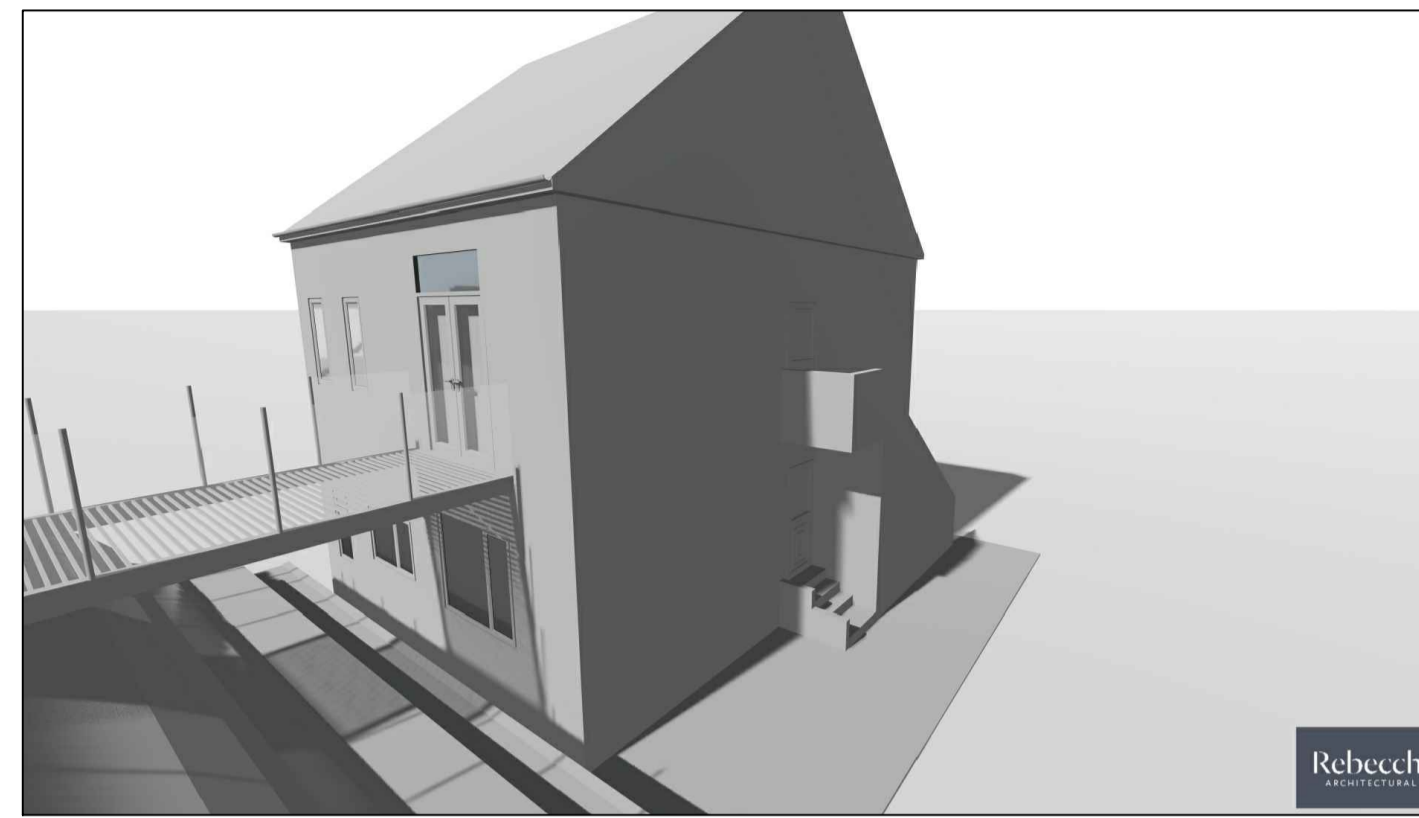
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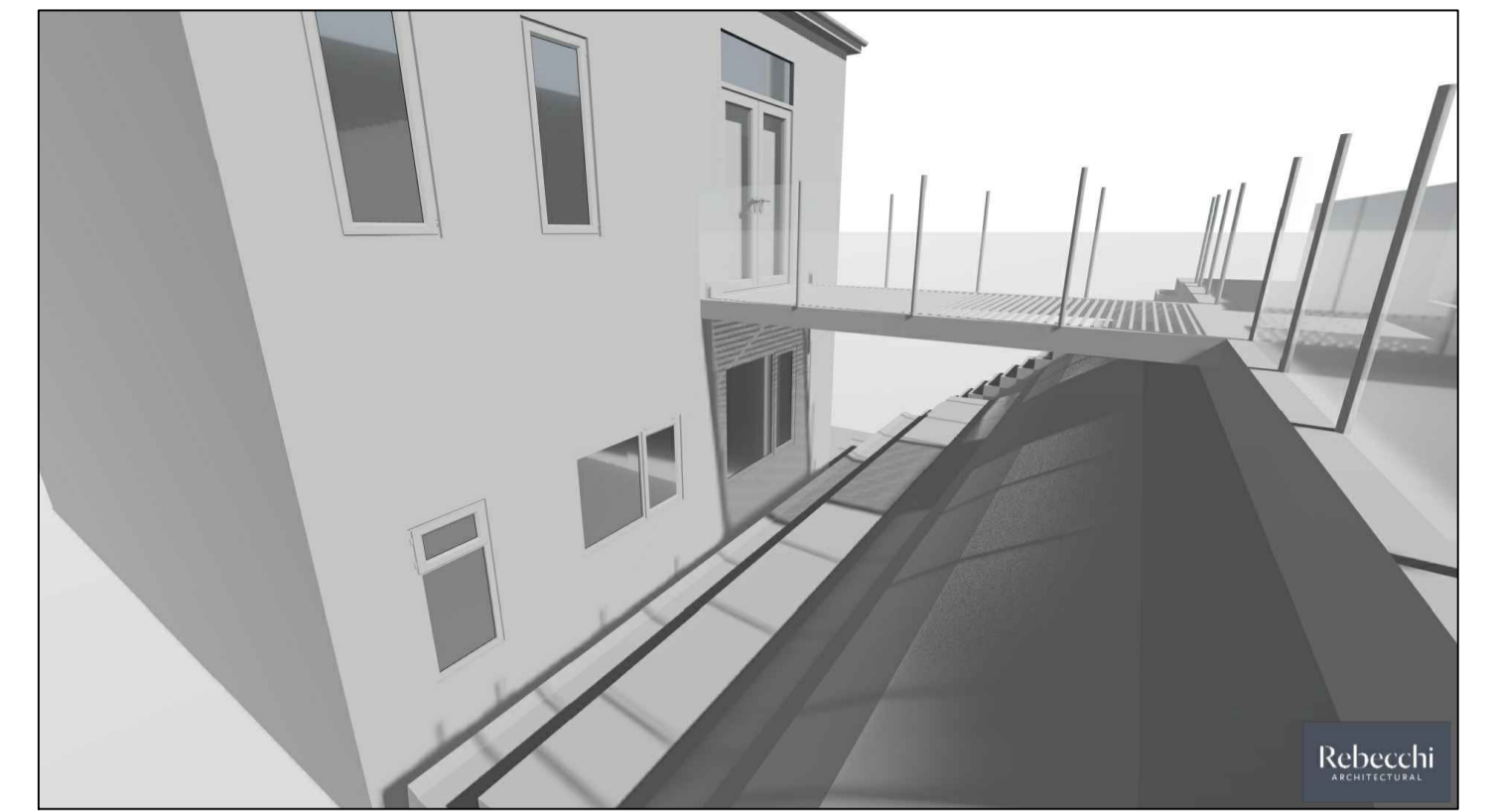
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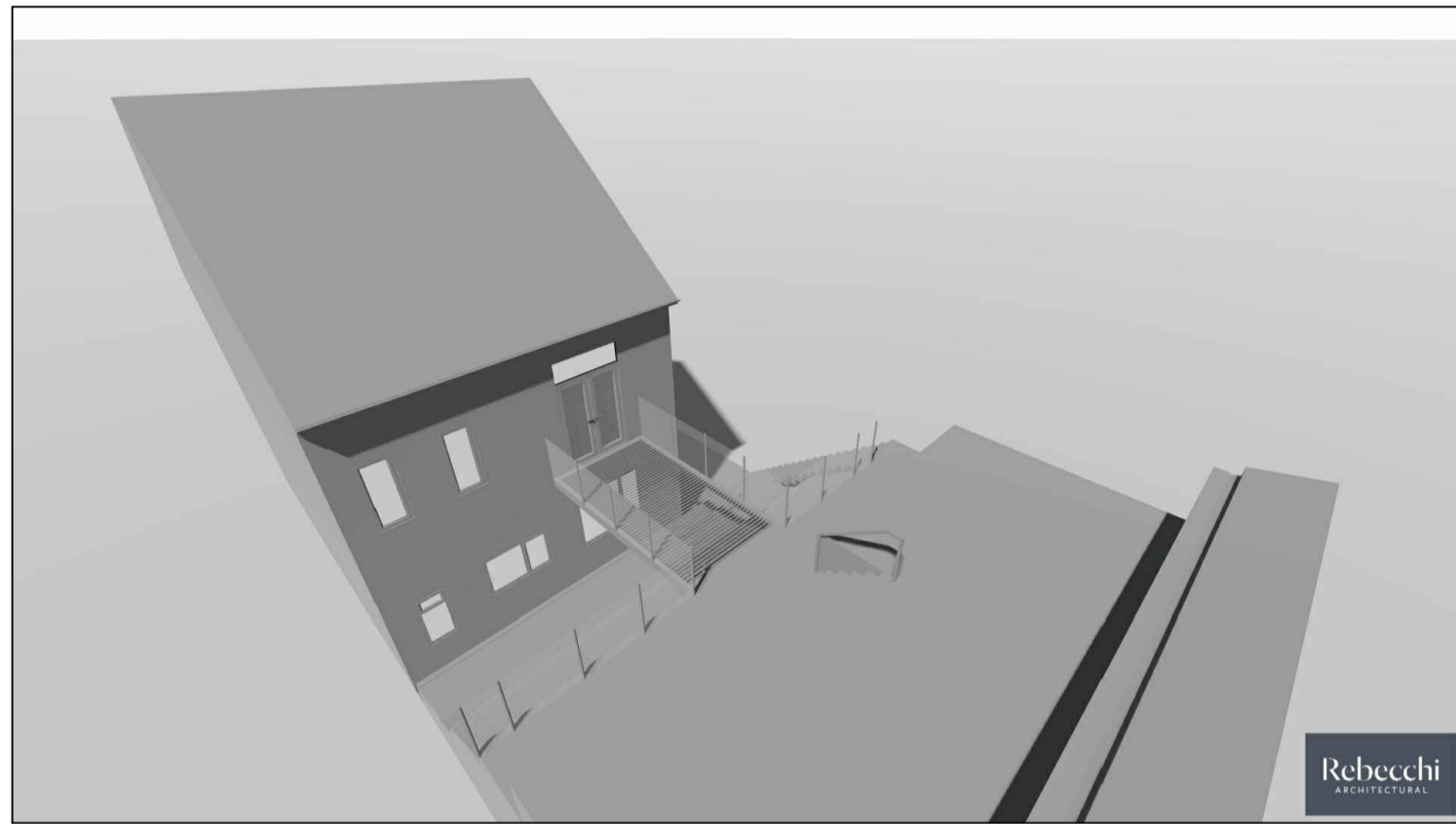
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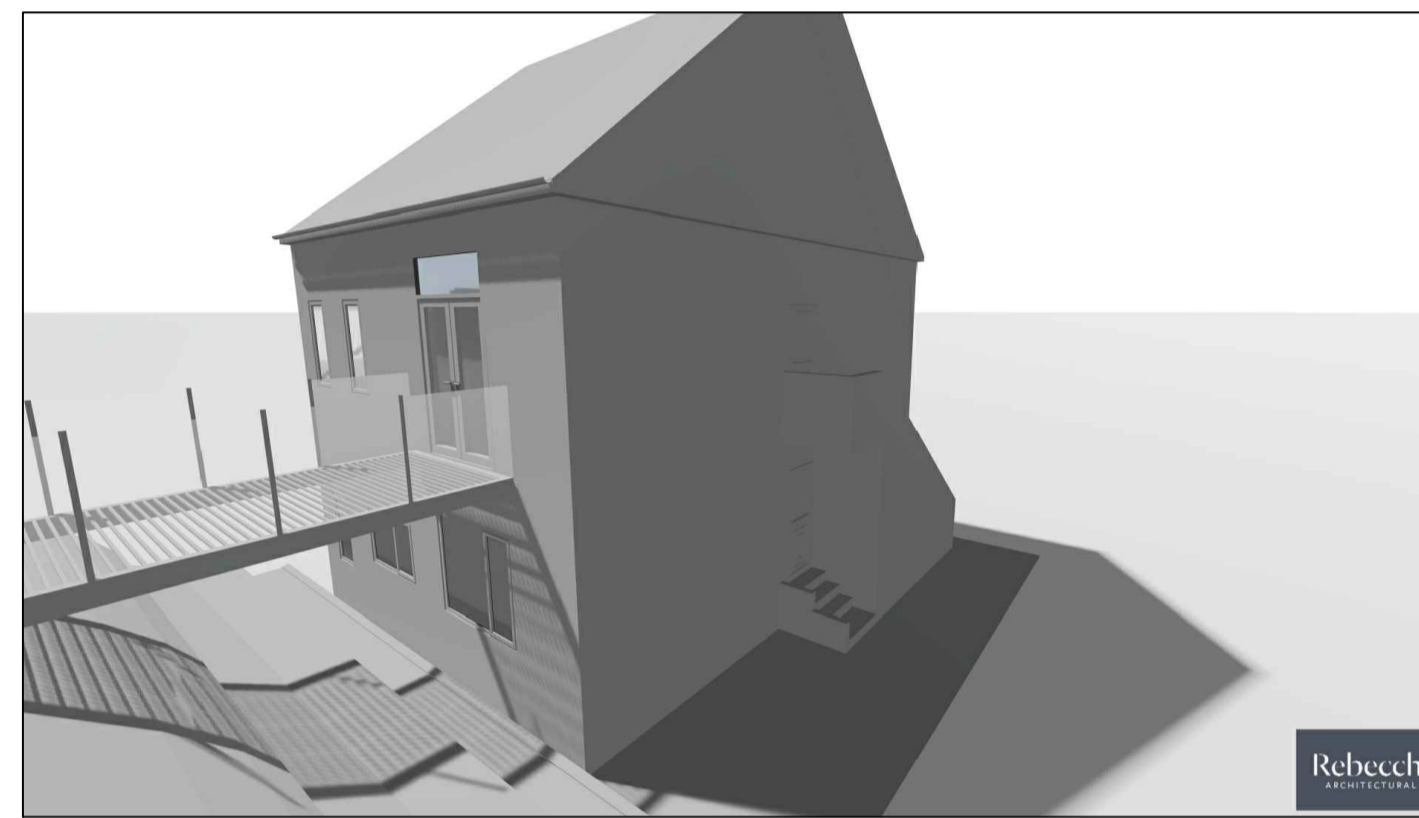
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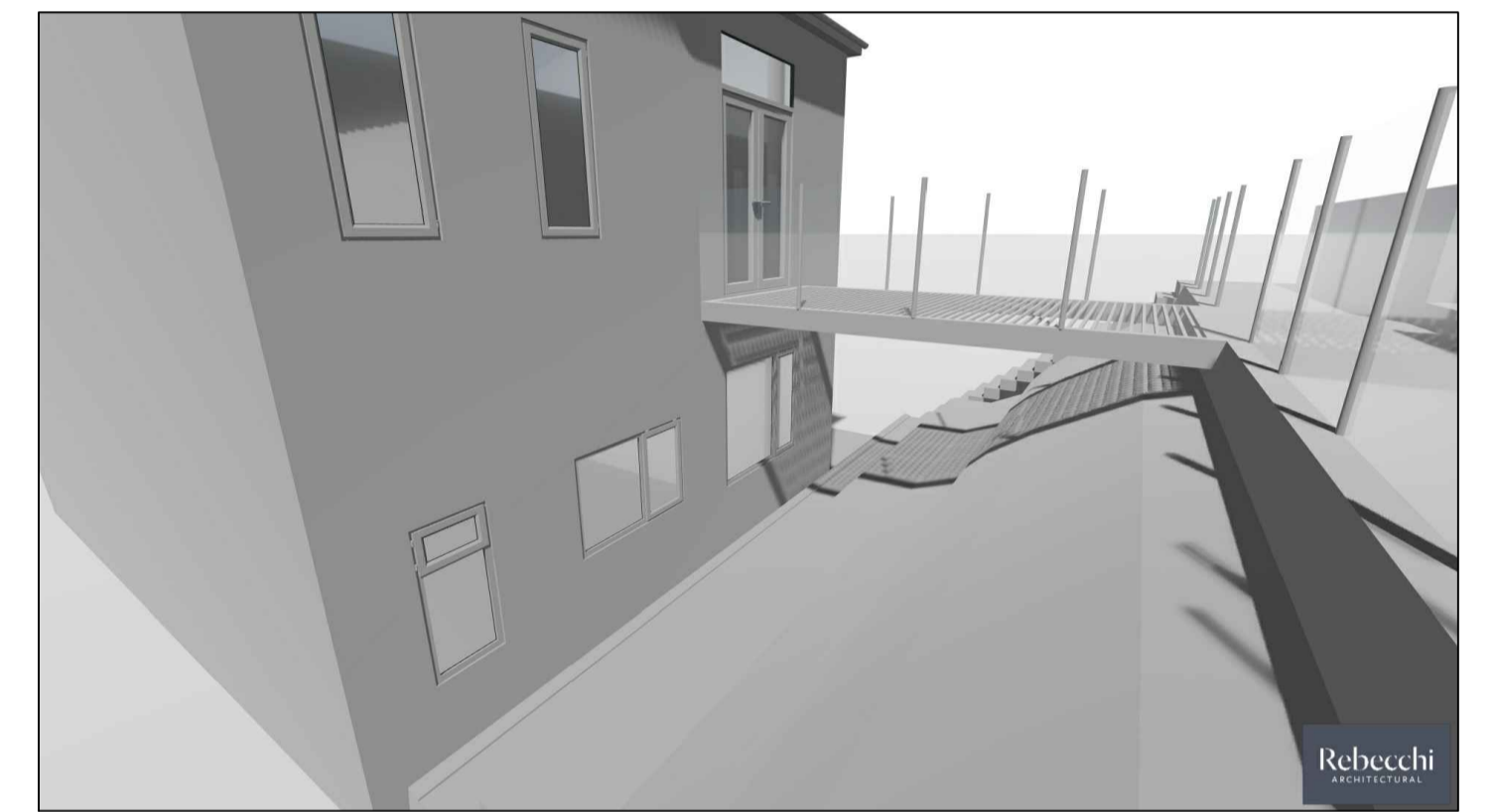
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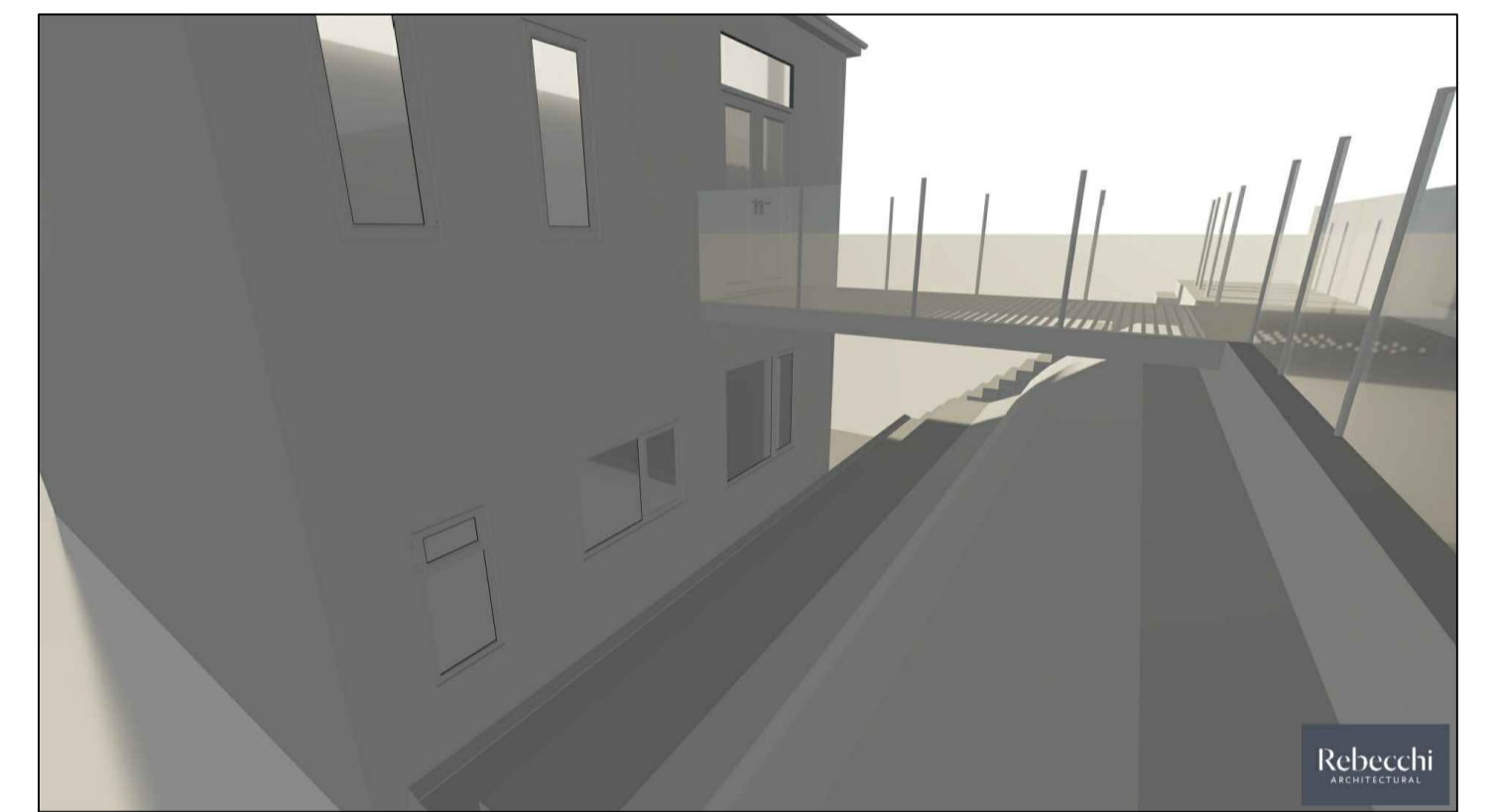
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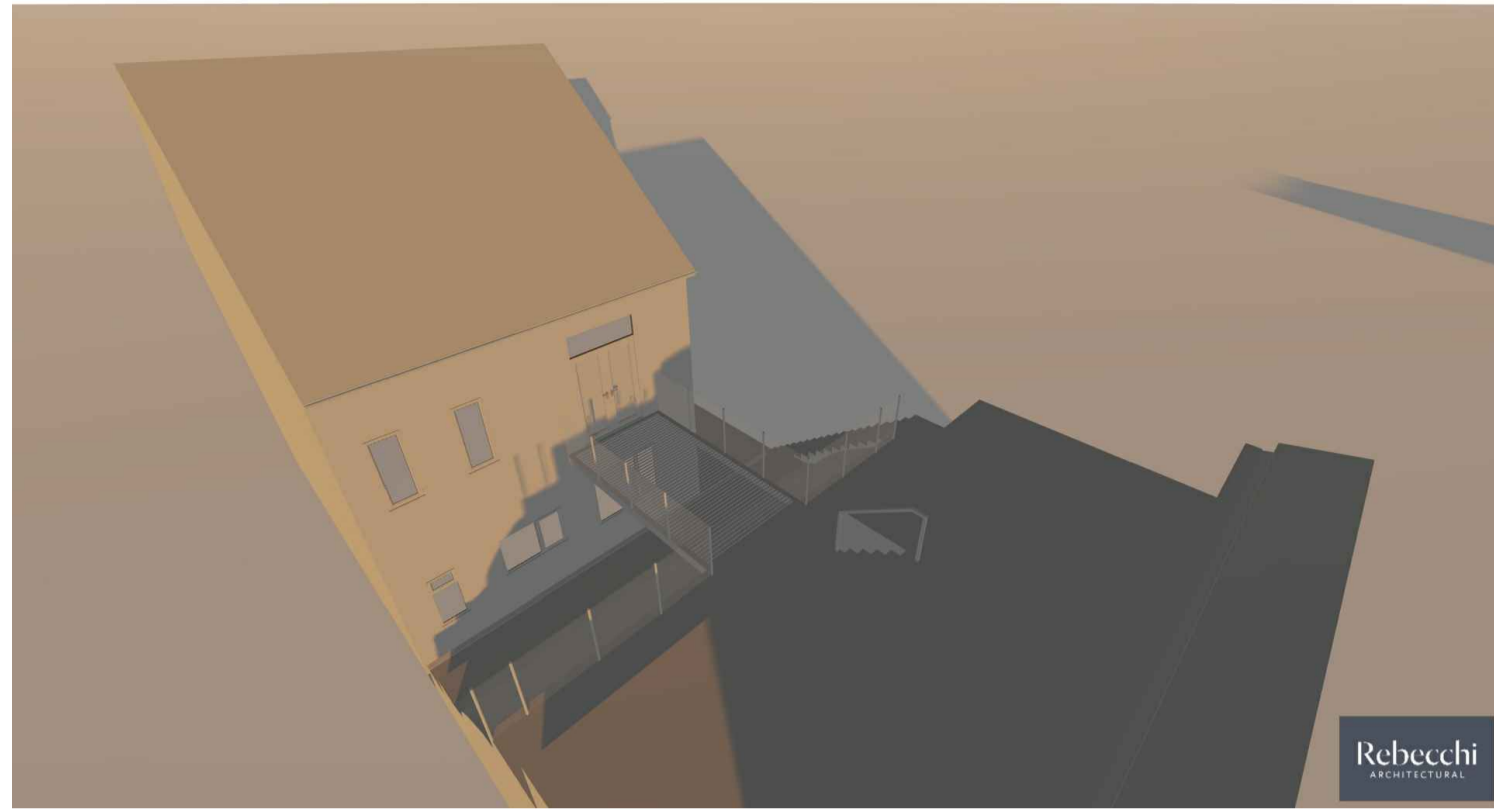
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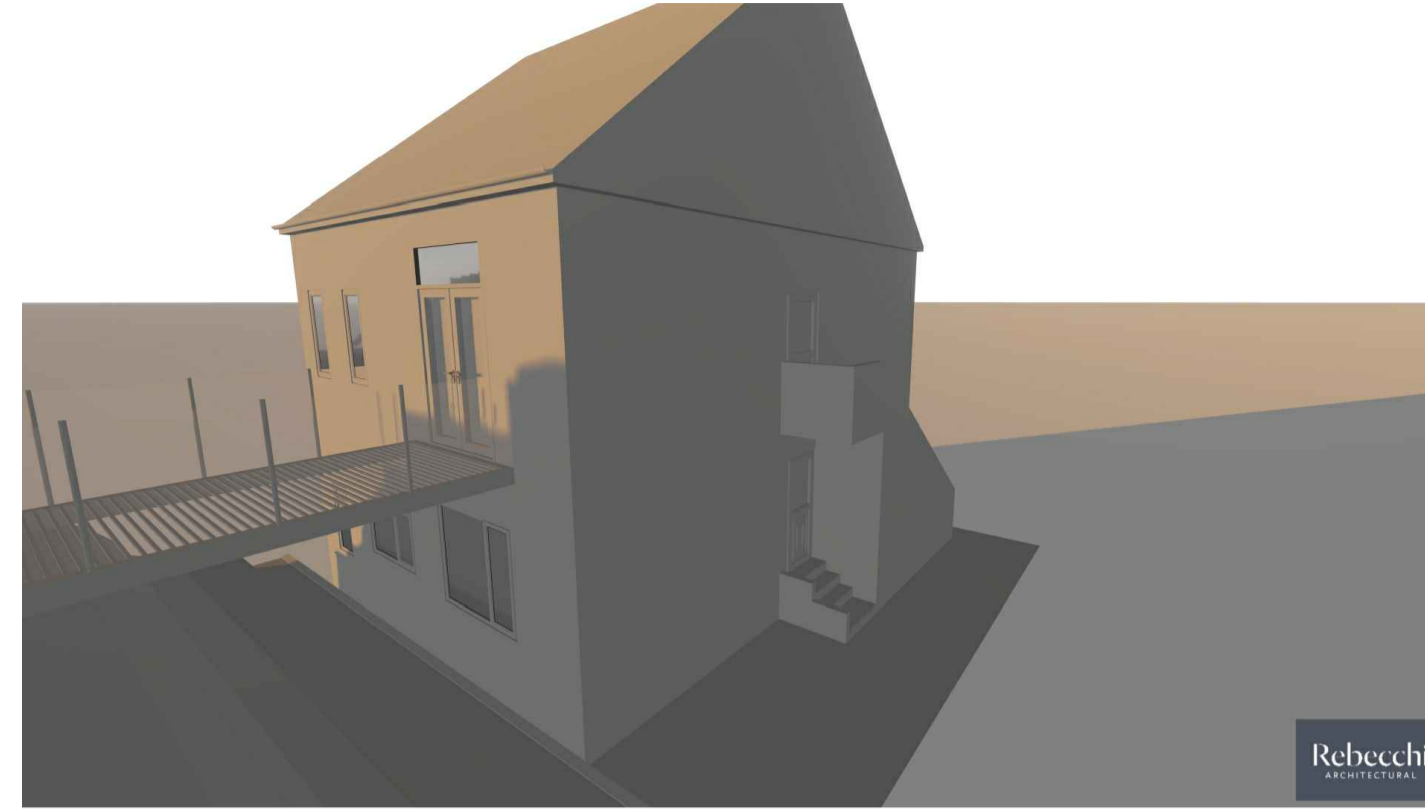
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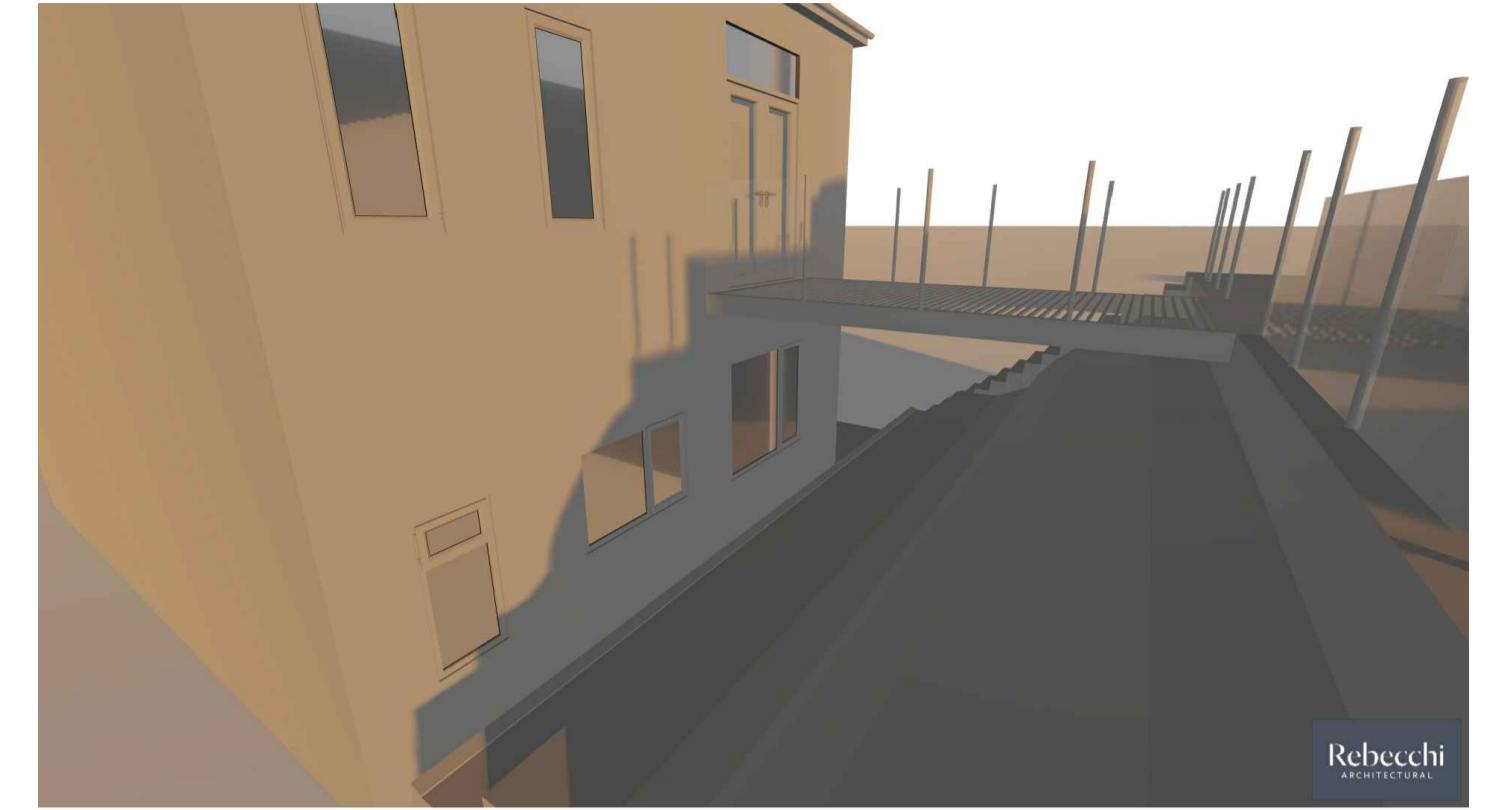
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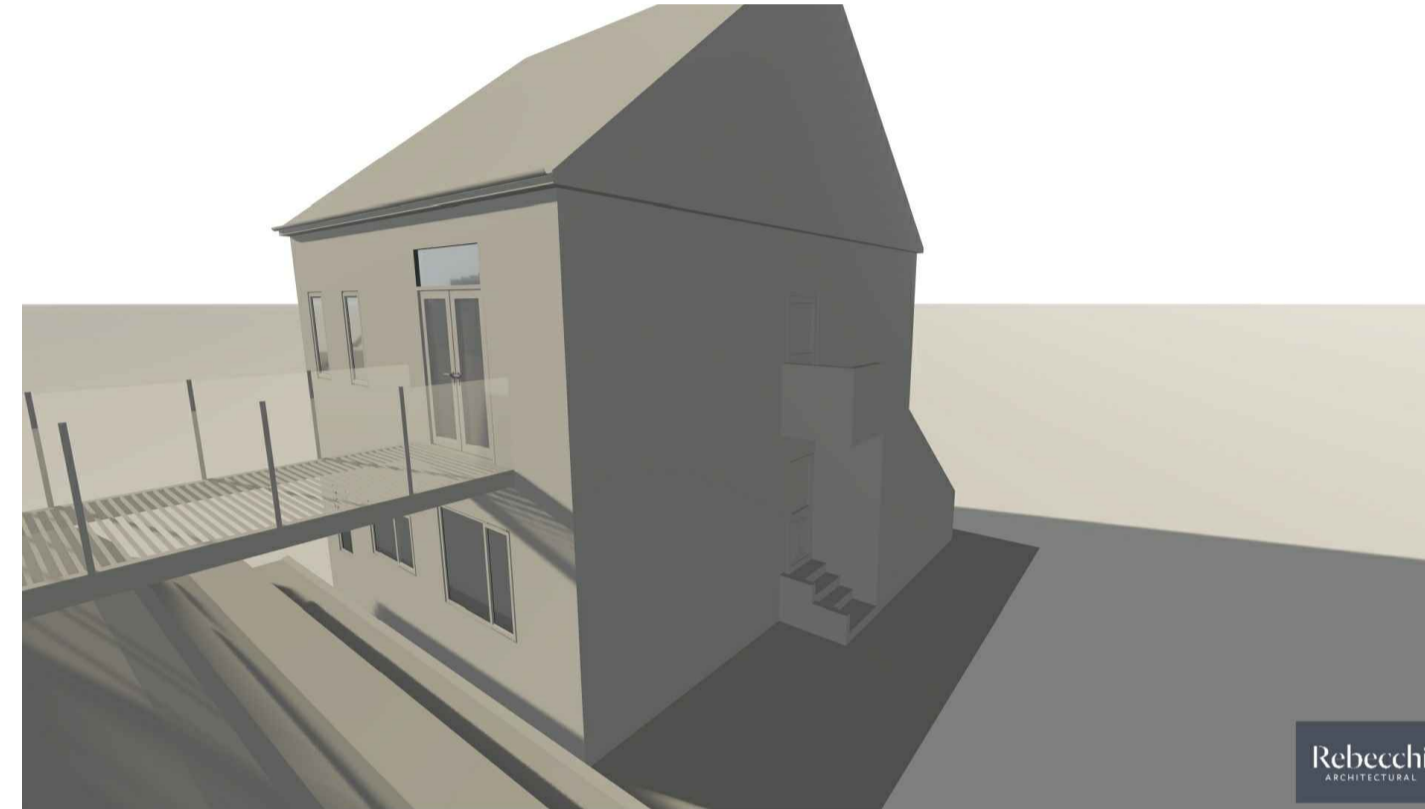
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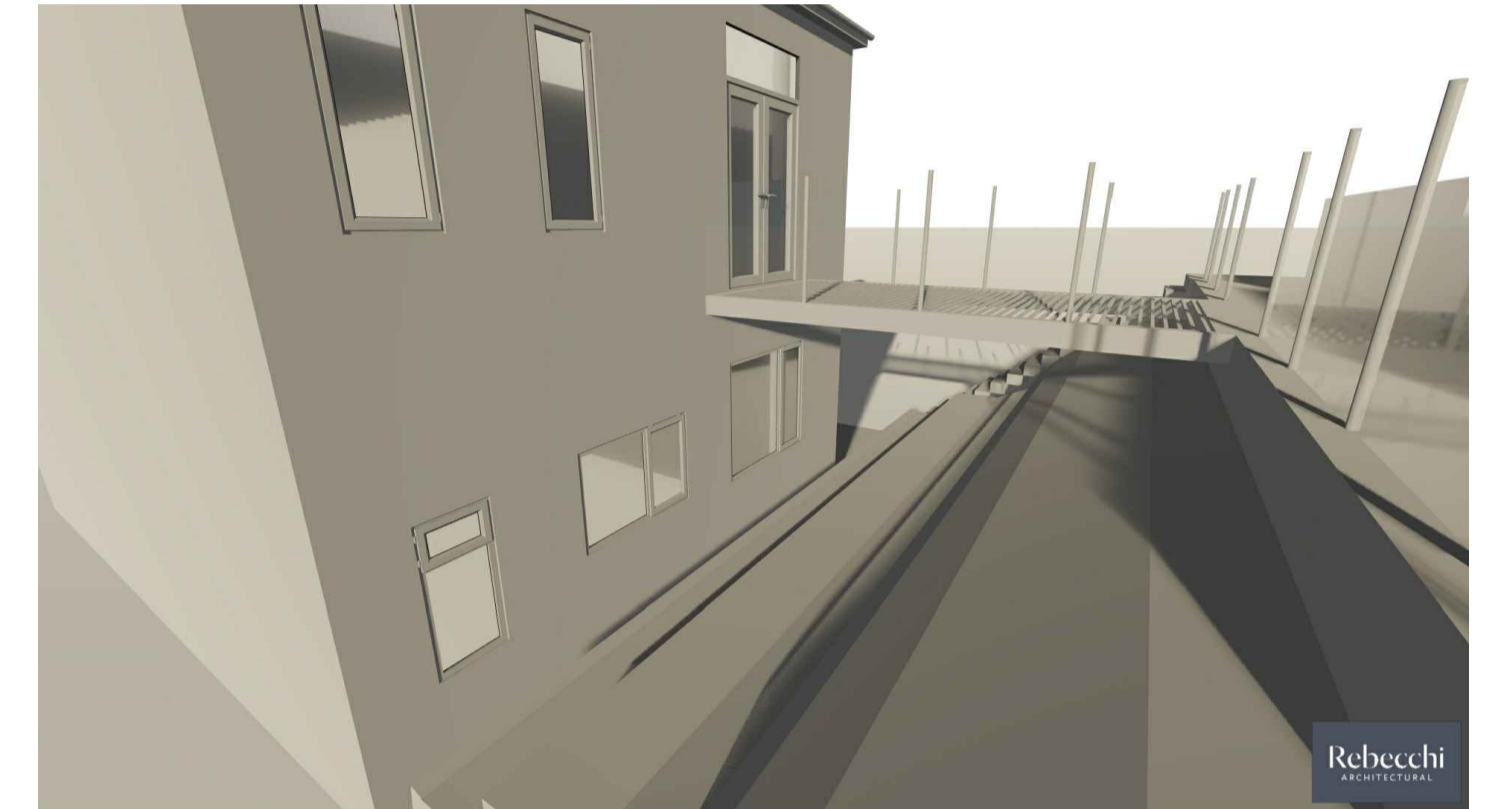
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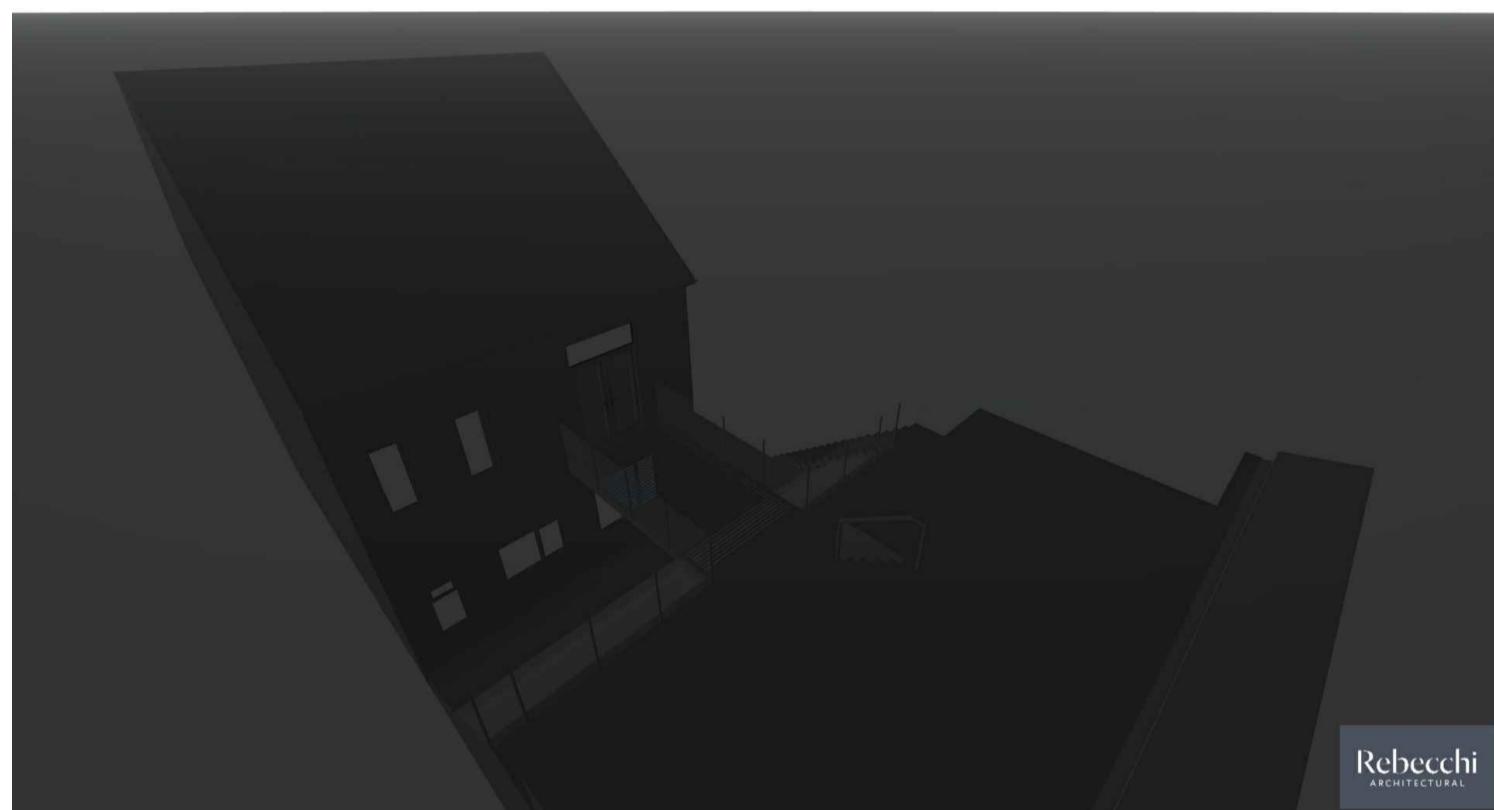
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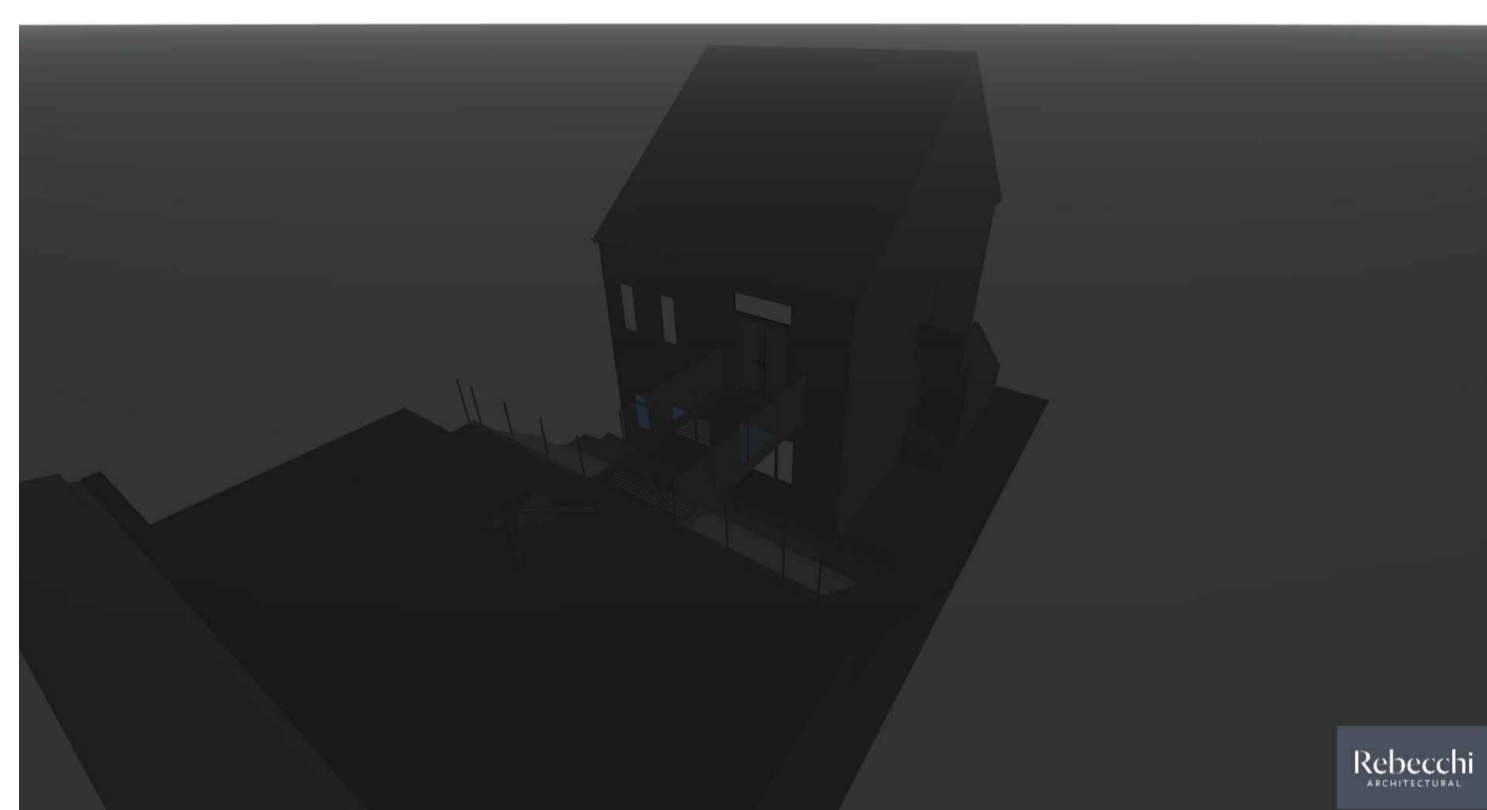
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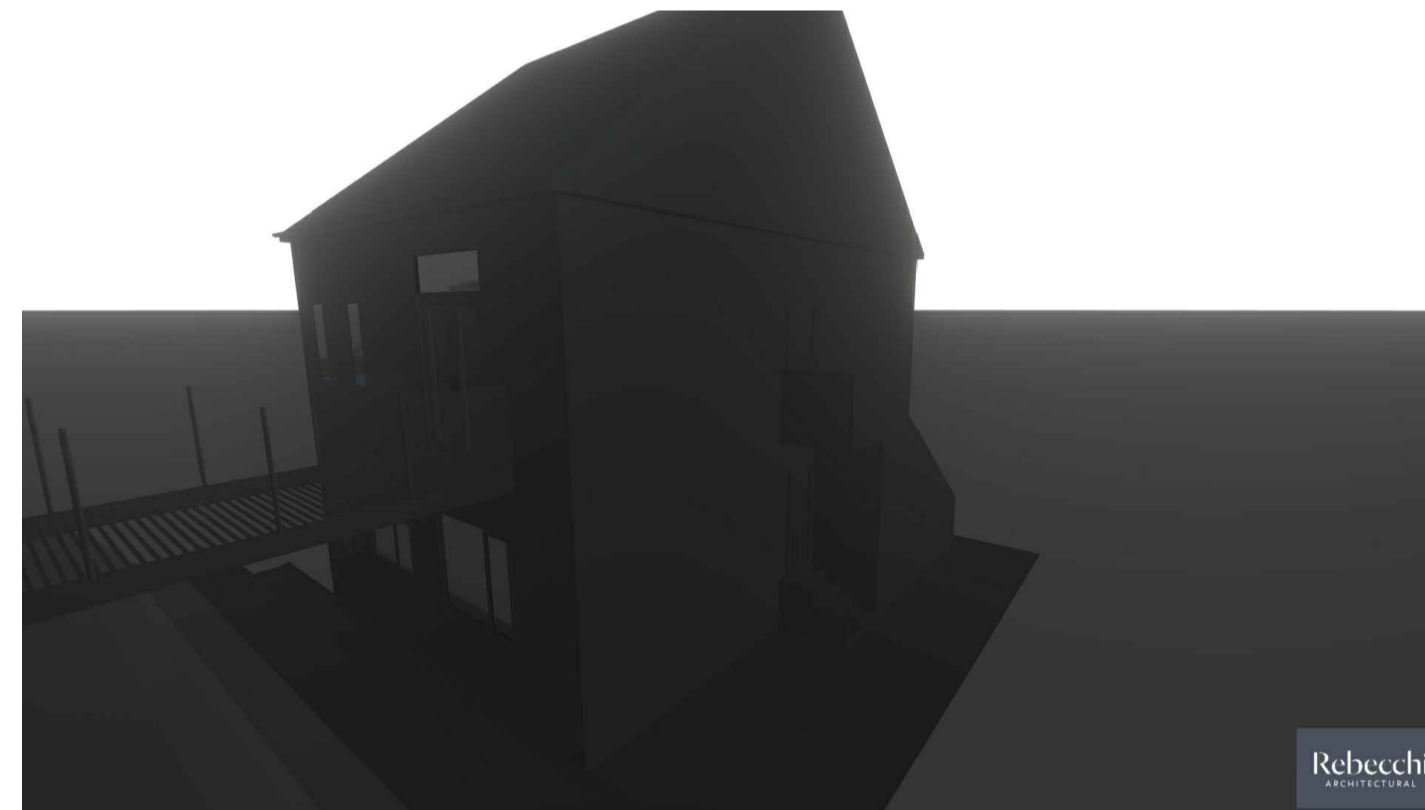
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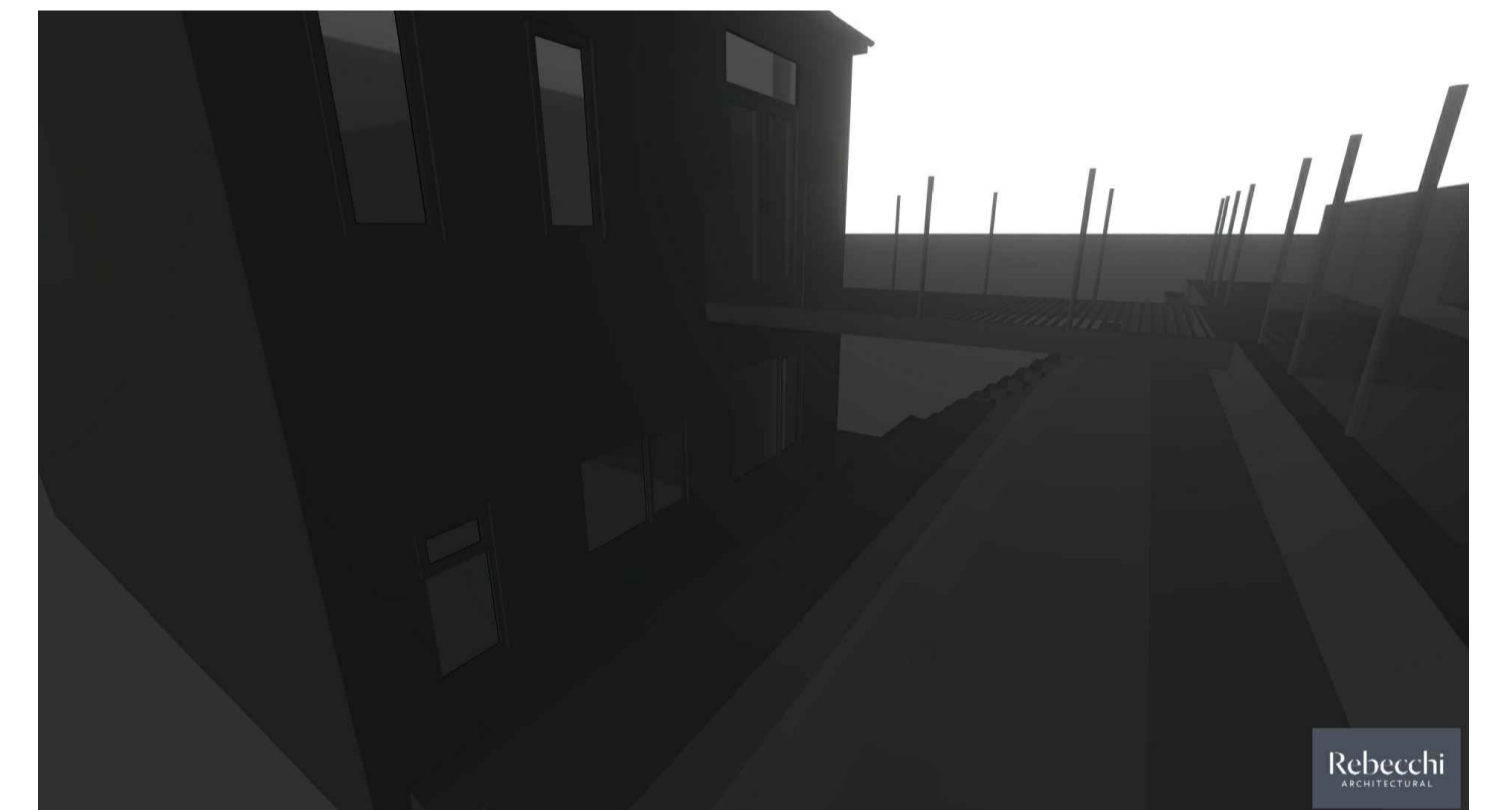
November 7pm



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Client  
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Greenock

Drawing Title  
Sun Study - November as Proposed

Scale	Size	Date
1:50	A1	11-01-22

Job No.	Drawing No.	Revision
21-014	PL-007	-

**9. SUGGESTED CONDITION SHOULD PLANNING  
PERMISSION BE GRANTED ON REVIEW**



## **21/0102/IC - Review - Suggested Condition**

Should planning permission in principle be granted on review the following condition is suggested.

Condition:

1. That prior to their use, detailed specifications including samples of all materials shall be submitted to and approved in writing by the Planning Authority and shall, thereafter, be used unless any alternatives are agreed in writing by the Planning Authority.

Reason:

1. In the interests of visual amenity.

**LOCAL REVIEW BODY**

**6 APRIL 2022**

**PLANNING APPLICATION FOR REVIEW**

**MR AND MRS S KAY**

**CHANGE OF USE OF AGRICULTURAL GRAZING LAND TO DOMESTIC GARDEN GROUND TO FORM AN ENLARGED GARDEN TOGETHER WITH THE ERECTION OF AN EXTENSION TO THE DWELLINGHOUSE AND ASSOCIATED WORKS CASTEHILL FARM COTTAGE, KILMACOLM ROAD, PORT GLASGOW (21/0136/IC)**

**Contents**

- 1. Planning Application dated 29 April 2021 together with site, location, elevation floor, roof and farm ownership plans**
- 2. Planning Application Design Statement**
- 3. Appointed Officer's Report of Handling dated 26 August 2021**
- 4. Inverclyde Local Development Plan 2019 Policy Extracts**

**To view the Inverclyde Local Development Plan see:**

**<https://www.inverclyde.gov.uk/planning-and-the-environment/planning-policy/development-planning/ldp>**

- 5. Inverclyde Local Development Plan 2019 Map Extract**
- 6. Inverclyde Local Development Plan 2019 Supplementary Guidance on Planning Application Advice Notes Policy Extracts**
- 7. Representation in relation to Planning Application**
- 8. Decision Notice dated 29 October 2021 issued by Head of Regeneration & Planning**
- 9. Notice of Review Form dated 9 January 2022 with Supporting Statement from Scotplan**
- 10. Suggested Conditions should Planning Permission be Granted on Review**

**Note: Inverclyde Proposed Local Development Plan 2021 has been attached to the rear of the agenda papers as supplementary content.**

**1. PLANNING APPLICATION DATED 29 APRIL 2021  
TOGETHER WITH SITE, LOCATION, ELEVATION,  
FLOOR, ROOF AND FARM OWNERSHIP PLANS**

Municipal Buildings Clyde Square Greenock PA15 1LY Tel: 01475 717171 Fax: 01475 712 468 Email:  
devcont.planning@inverclyde.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100403918-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Type of Application

What is this application for? Please select one of the following: \*

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

## Description of Proposal

Please describe the proposal including any change of use: \* (Max 500 characters)

Change of use of agricultural grazing land to domestic garden ground to form an enlarged garden together with the erection of an extension to the dwellinghouse and associated works

Is this a temporary permission? \*  Yes  No

If a change of use is to be included in the proposal has it already taken place?  
(Answer 'No' if there is no change of use.) \*  Yes  No

Has the work already been started and/or completed? \*

No  Yes – Started  Yes - Completed

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant  Agent

## Agent Details

Please enter Agent details

Company/Organisation:	ataSTUDIO		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Graeme	Building Name:	
Last Name: *	Andrew	Building Number:	6
Telephone Number: *	07740862403	Address 1 (Street): *	Knockbuckle Lane
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Kilmacolm
Fax Number:		Country: *	UK
		Postcode: *	PA13 4JS
Email Address: *	mail@atastudio.com		

Is the applicant an individual or an organisation/corporate entity? \*

Individual  Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:	Other	You must enter a Building Name or Number, or both: *	
Other Title:	Mr & Mrs	Building Name:	Castlehill Farm
First Name: *	S	Building Number:	
Last Name: *	Kay	Address 1 (Street): *	Kilmacolm Road
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	Port Glasgow
Extension Number:		Country: *	Scotland UK
Mobile Number:		Postcode: *	PA14 6SX
Fax Number:			
Email Address: *	[REDACTED]		

## Site Address Details

Planning Authority:

Inverclyde Council

Full postal address of the site (including postcode where available):

Address 1:

CASTLEHILL FARM COTTAGE

Address 2:

KILMACOLM ROAD

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

PORT GLASGOW

Post Code:

PA14 6SX

Please identify/describe the location of the site or sites

Northing

672469

Easting

235237

## Pre-Application Discussion

Have you discussed your proposal with the planning authority? \*

Yes  No

## Pre-Application Discussion Details Cont.

In what format was the feedback given? \*

Meeting  Telephone  Letter  Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) \* (max 500 characters)

Advised to resubmit application with non householder forms so as to include change of use of agricultural grazing land to domestic garden ground (previous submission 21/0119/IC using householder form not been validated), top up fee included with this application.

Title:

Mr

Other title:

First Name:

James

Last Name:

McColl

Correspondence Reference Number:

ref 21/0119/IC

Date (dd/mm/yyyy):

29/04/2021

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

## Site Area

Please state the site area:

2380.00

Please state the measurement type used:

Hectares (ha)  Square Metres (sq.m)

## Existing Use

Please describe the current or most recent use: \* (Max 500 characters)

dwelling house and agricultural grazing land

## Access and Parking

Are you proposing a new altered vehicle access to or from a public road? \*

Yes  No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? \*

Yes  No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

5

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? \*

5

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

## Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? \*

Yes  No

Do your proposals make provision for sustainable drainage of surface water?? \* (e.g. SUDS arrangements) \*

Yes  No

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? \*

- Yes  
 No, using a private water supply  
 No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

## Assessment of Flood Risk

Is the site within an area of known risk of flooding? \*

Yes  No  Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? \*

Yes  No  Don't Know

## Trees

Are there any trees on or adjacent to the application site? \*

Yes  No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

## Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? \*

Yes  No

If Yes or No, please provide further details: \* (Max 500 characters)

garden ground include sufficient space to store collection of waste and recycling

## Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? \*

Yes  No

## All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? \*

Yes  No

## Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013) \*

Yes  No  Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

## Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? \*

Yes  No



## Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? \*

Yes  No

Is any of the land part of an agricultural holding? \*

Yes  No

Do you have any agricultural tenants? \*

Yes  No

## Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate E

## Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate E

I hereby certify that –

(1) – No person other than myself/the applicant was the owner of any part of the land to which the application relates at the beginning of the period 21 days ending with the date of the application.

(2) - The land to which the application relates constitutes or forms part of an agricultural holding and there are no agricultural tenants

Or

(1) – No person other than myself/the applicant was the owner of any part of the land to which the application relates at the beginning of the period 21 days ending with the date of the application.

(2) - The land to which the application relates constitutes or forms part of an agricultural holding and there are agricultural tenants.

Name:

Address:

Date of Service of Notice: \*

(4) – I have/The applicant has taken reasonable steps, as listed below, to ascertain the names and addresses of the other owners or agricultural tenants and \*have/has been unable to do so –

Signed: Graeme Andrew

On behalf of: Mr & Mrs S Kay

Date: 29/04/2021

Please tick here to certify this Certificate. \*

## Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? \*

Yes  No  Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? \*

Yes  No  Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? \*

Yes  No  Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? \*

Yes  No  Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? \*

Yes  No  Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? \*

Yes  No  Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- Site Layout Plan or Block plan.
- Elevations.
- Floor plans.
- Cross sections.
- Roof plan.
- Master Plan/Framework Plan.
- Landscape plan.
- Photographs and/or photomontages.
- Other.

If Other, please specify: \* (Max 500 characters)

Provide copies of the following documents if applicable:

- |  |   |   |
|--|---|---|
| A copy of an Environmental Statement. *  | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. *                                   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> N/A            |
| A Flood Risk Assessment. *   | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> N/A |
| Drainage/SUDS layout. *  | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan  | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. *  | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> N/A |
| Habitat Survey. *  | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. *  | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> N/A |

Other Statements (please specify). (Max 500 characters)

## Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

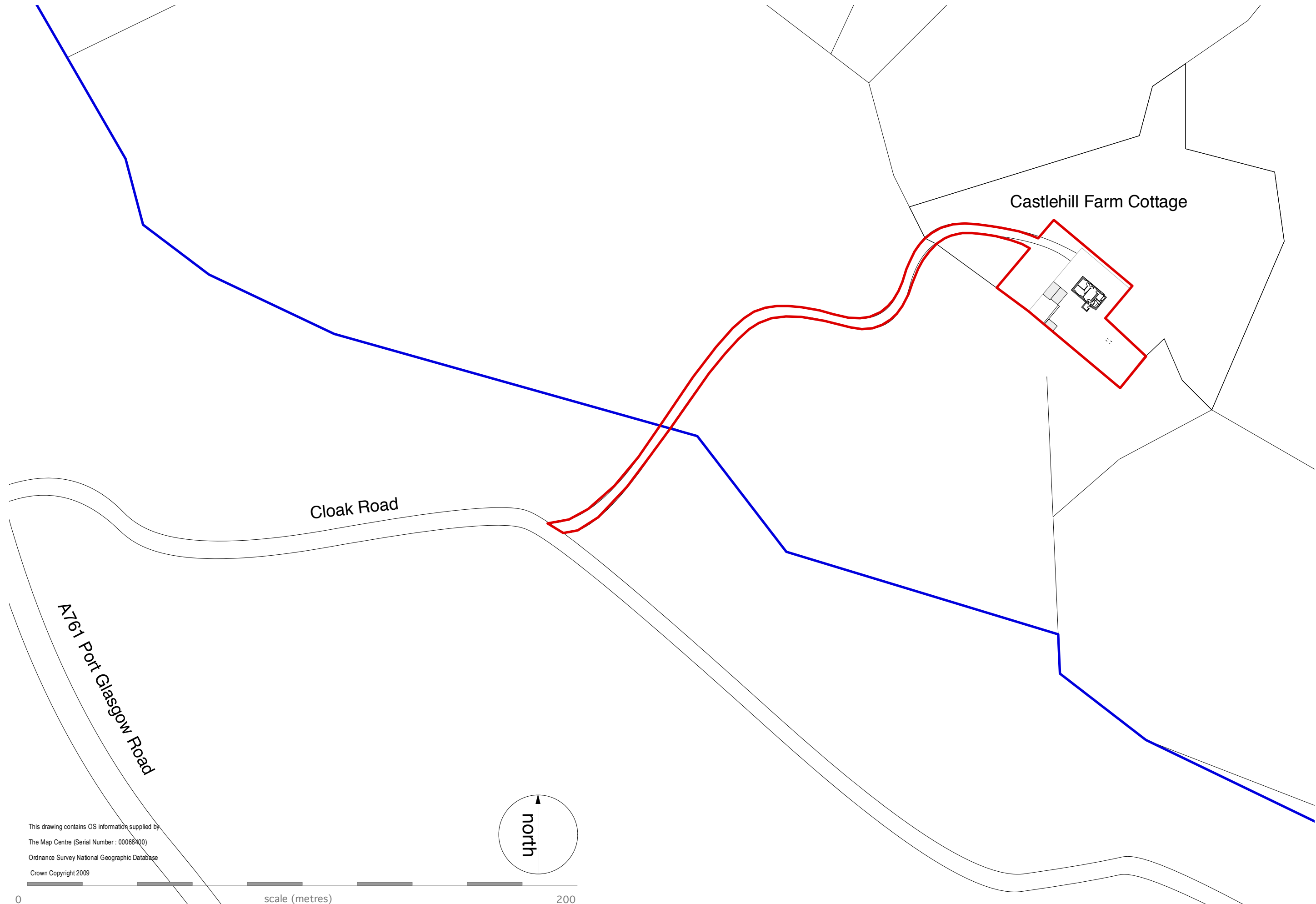
Declaration Name: Mr Graeme Andrew

Declaration Date: 29/04/2021

## Payment Details

Online payment: ICPP00001113  
Payment date: 29/04/2021 17:45:00

Created: 29/04/2021 17:45



Castlehill Farm Cottage, Port Glasgow  
Proposed changes for Mr + Mrs Kay

PLANNING Drawing 015 April 2021  
Enlarged location plan 1:4000 @A3 size

110 Brunswick Street  
GLASGOW  
G1 3TA  
TEL 07740 862403  
mail@atastudio.com  
www.atastudio.com





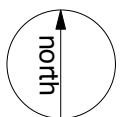
0 scale (metres) 200

Castlehill Farm Cottage, Port Glasgow

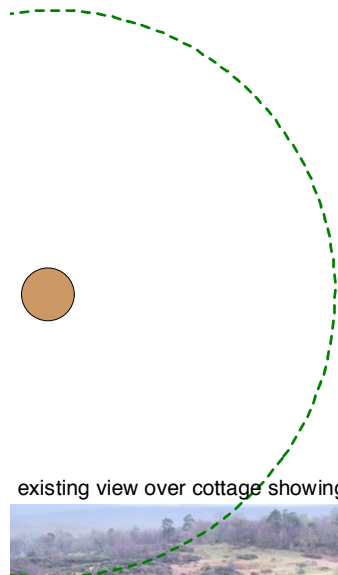
Proposed changes for Mr + Mrs Kay

PLANNING Drawing 014 April 2021  
 Farm field ownership plan 1:4000 @A3 size

110 Brunswick Street  
 GLASGOW  
 G1 3TA  
 TEL: 07740 882403  
 mail@atastudio.com  
 www.atastudio.com



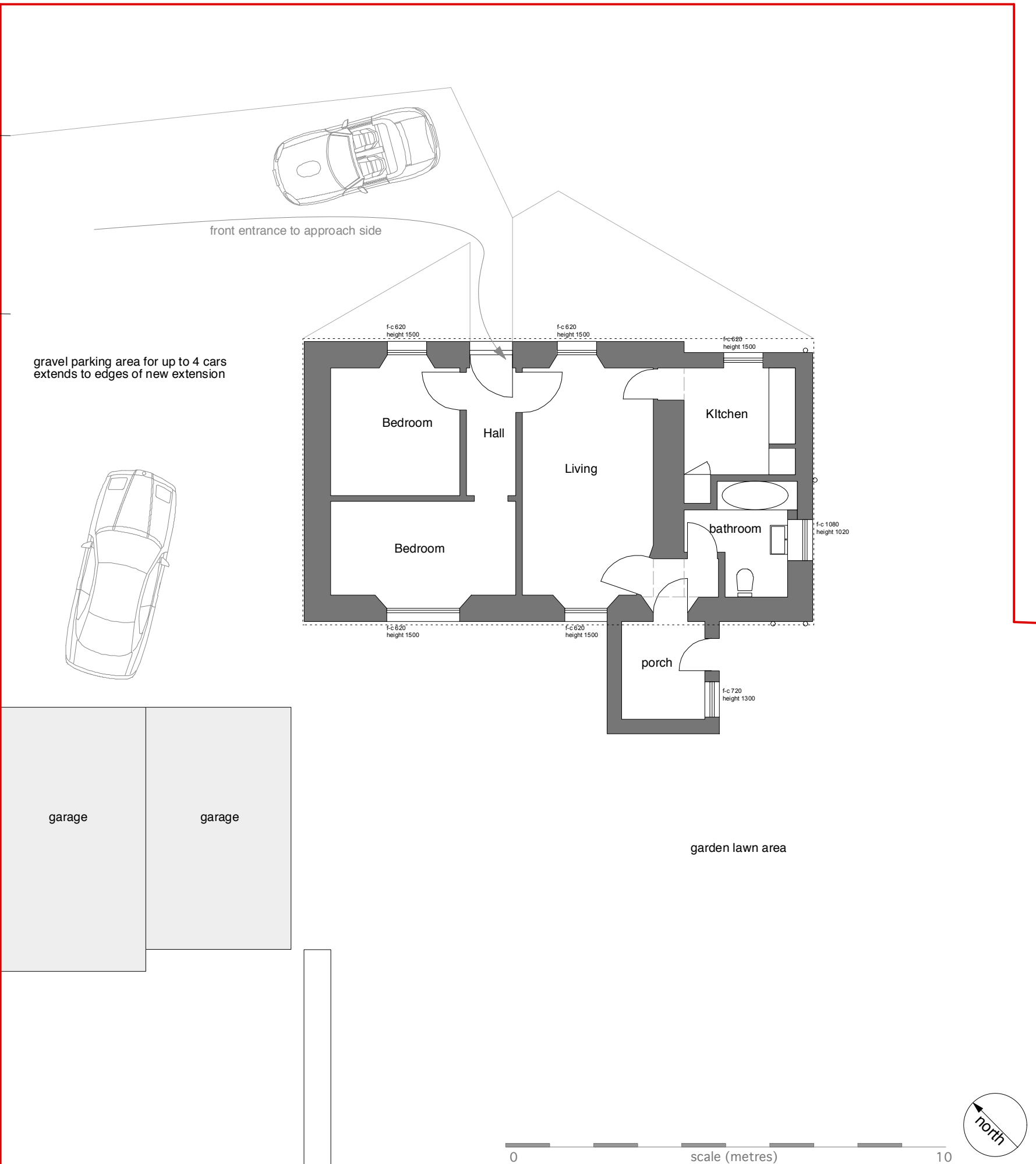
existing from Cloak Road  
off Kilmacolm Road



existing view over cottage showing approach from Cloak Road



Castlehill Farm Cottage, Port Glasgow  
Proposed changes for Mr + Mrs Kay

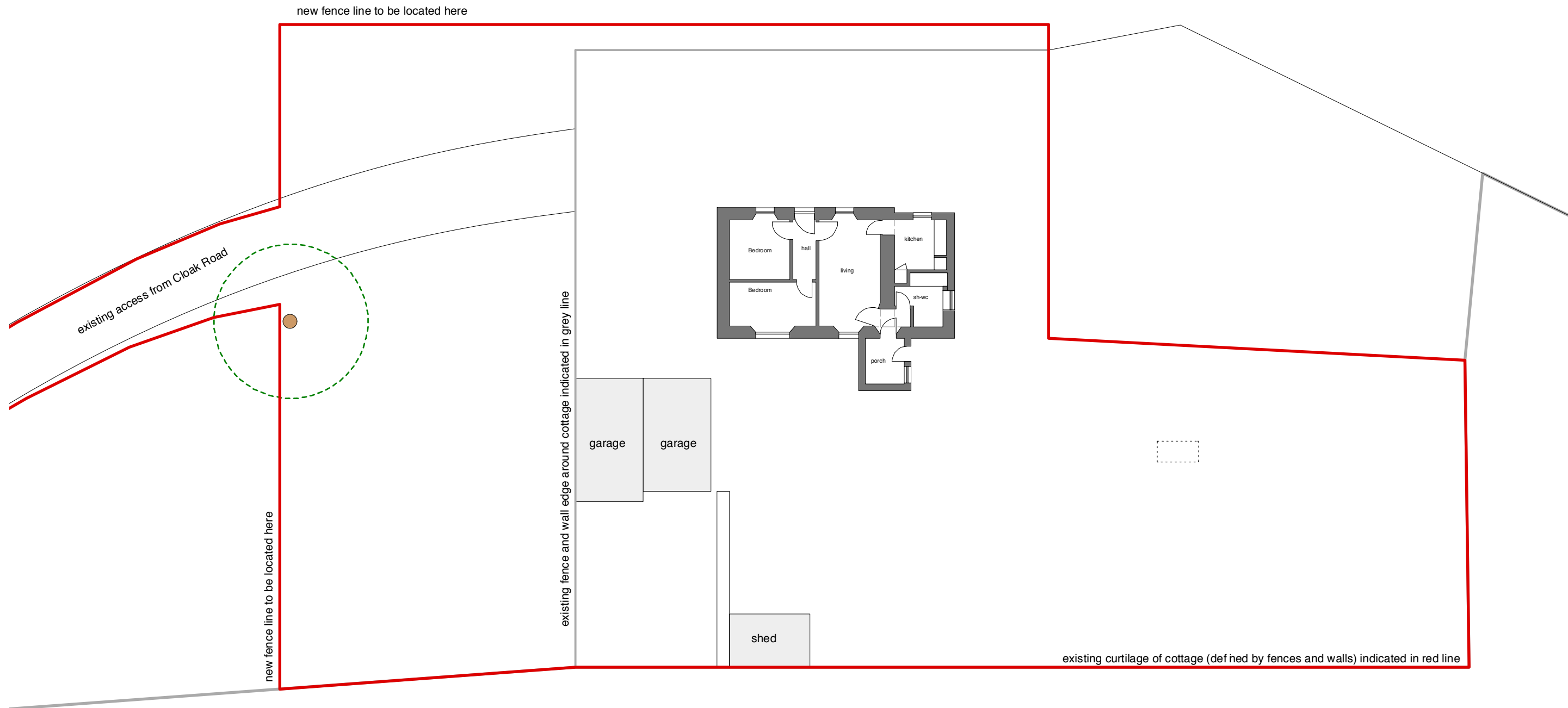


PLANNING Drawing 005 April 2021

Existing ground f bor plan 1:100 @A3 size

110 Brunswick Street  
GLASGOW  
G1 3TA  
TEL: 07740 862403  
mail@atastudio.com  
www.atastudio.com



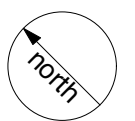


0 scale (metres) 20

Castlehill Farm Cottage, Port Glasgow  
 Proposed changes for Mr + Mrs Kay

PLANNING Drawing 003 April 2021  
 Existing Site plan 1:200 @A3 size

110 Brunswick Street  
 GLASGOW  
 G1 3TA  
 TEL: 07740 862403  
 mail@atastudio.com  
 www.atastudio.com





ABOVE - proposed image of extended cottage

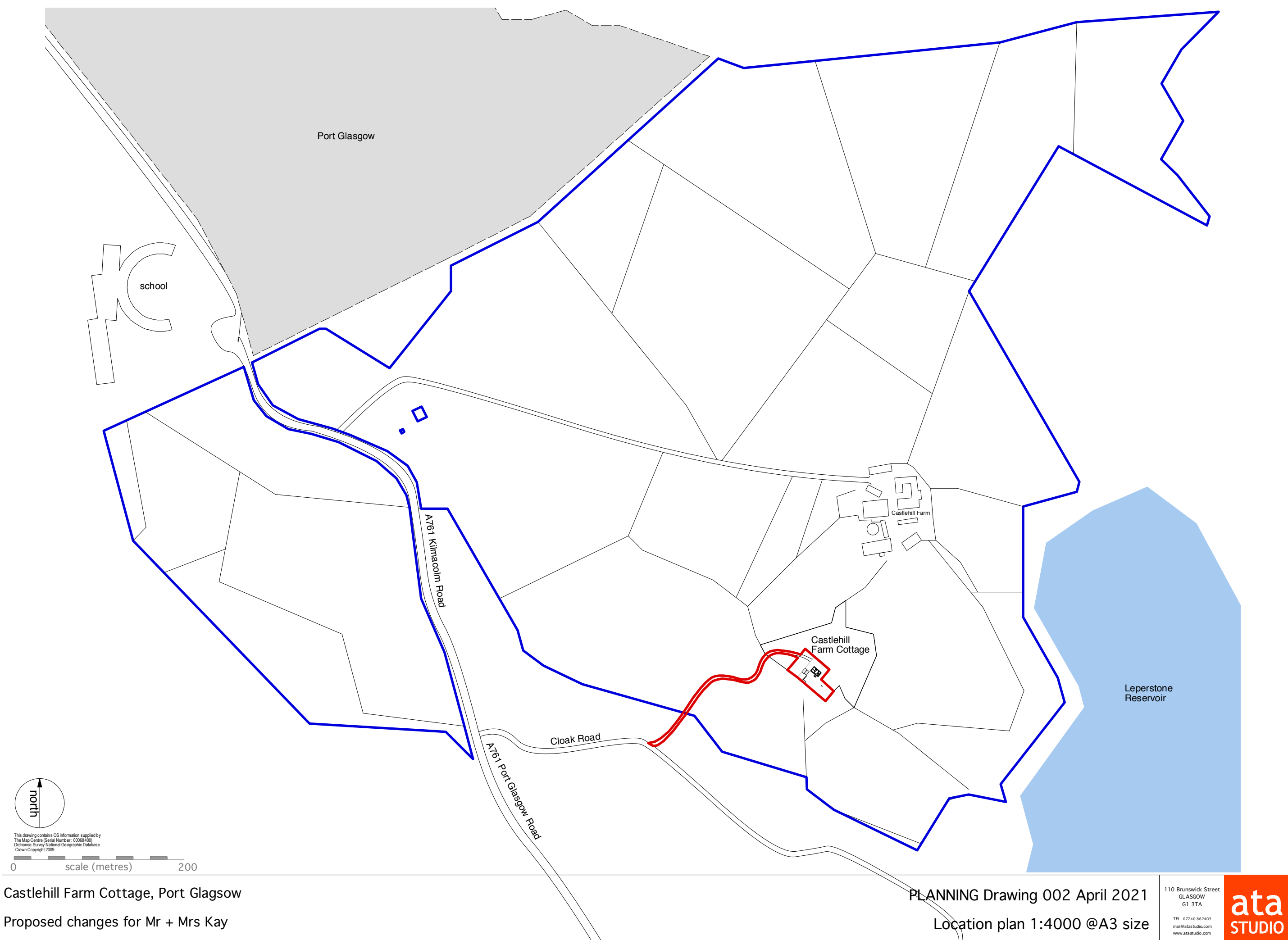
BELOW - existing view



Castlehill Farm Cottage, Port Glagsow

Proposed changes for Mr + Mrs Kay





Castlehill Farm Cottage, Port Glasgow  
 Proposed changes for Mr + Mrs Kay

PLANNING Drawing 002 April 2021  
 Location plan 1:4000 @A3 size

110 Brunswick Street  
 GLASGOW  
 G1 3TA  
 TEL: 07740 862403  
 mail@atastudio.com  
 www.atastudio.com

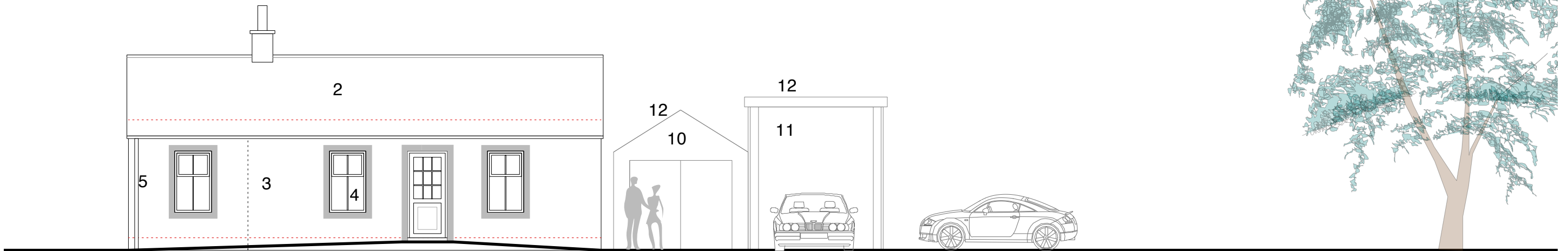


Material key

1. timber frame windows & doors
2. natural slate roof
3. rendered brick and stone
4. UPVC windows
5. metal rainwater goods
6. EPDM rubber membrane roof covering
7. Cedar fire cement weather board (light grey)
8. natural zinc standing seam roof cladding
9. bespoke glvanized metal edge detailing
10. timber cladding
11. profile metal sheet cladding
12. felt roof

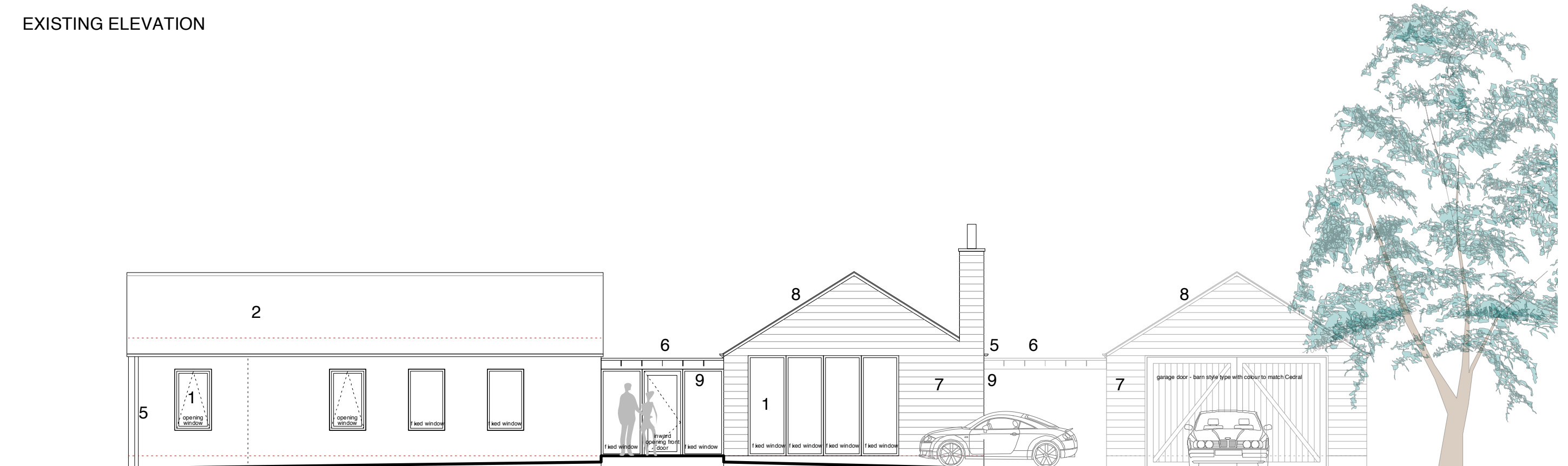


ABOVE - proposed image of cottage front approach showing double gables pitched roof with height and angle to match existing cottage and chimney to corner



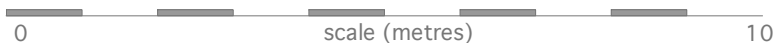
existing garages to be demolished and replaced with cottage extension

EXISTING ELEVATION



Painted window surrounds to be white to match rest of cottage walls

PROPOSED ELEVATION



Castlehill Farm Cottage, Port Glasgow

Proposed changes for Mr + Mrs Kay

PLANNING Drawing 008revA April 2021

North-east (front) elevation 1:100 @A3 size

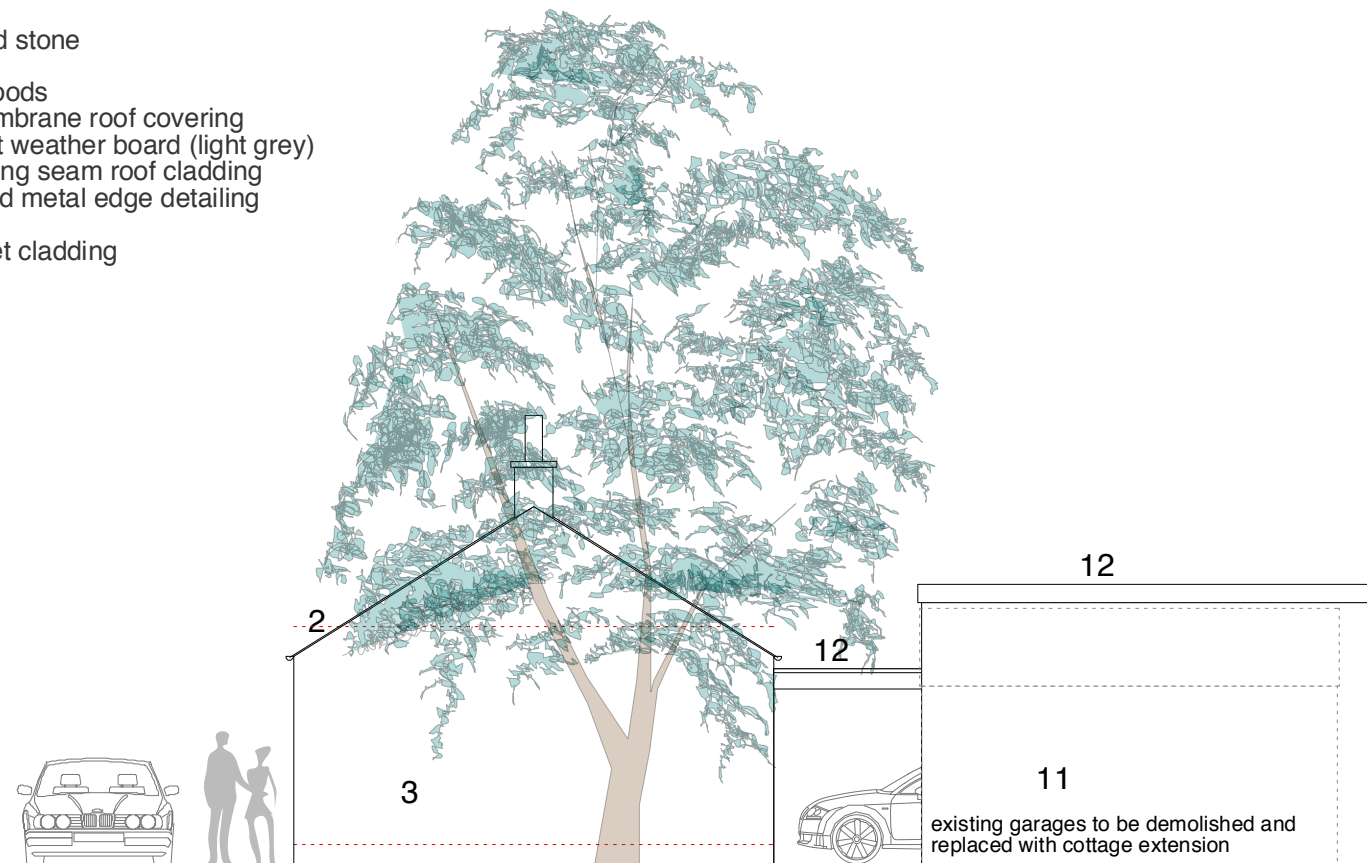
110 Brunswick Street  
GLASGOW  
G1 3TA

TEL 07740 862403  
mail@atastudio.com  
www.atastudio.com



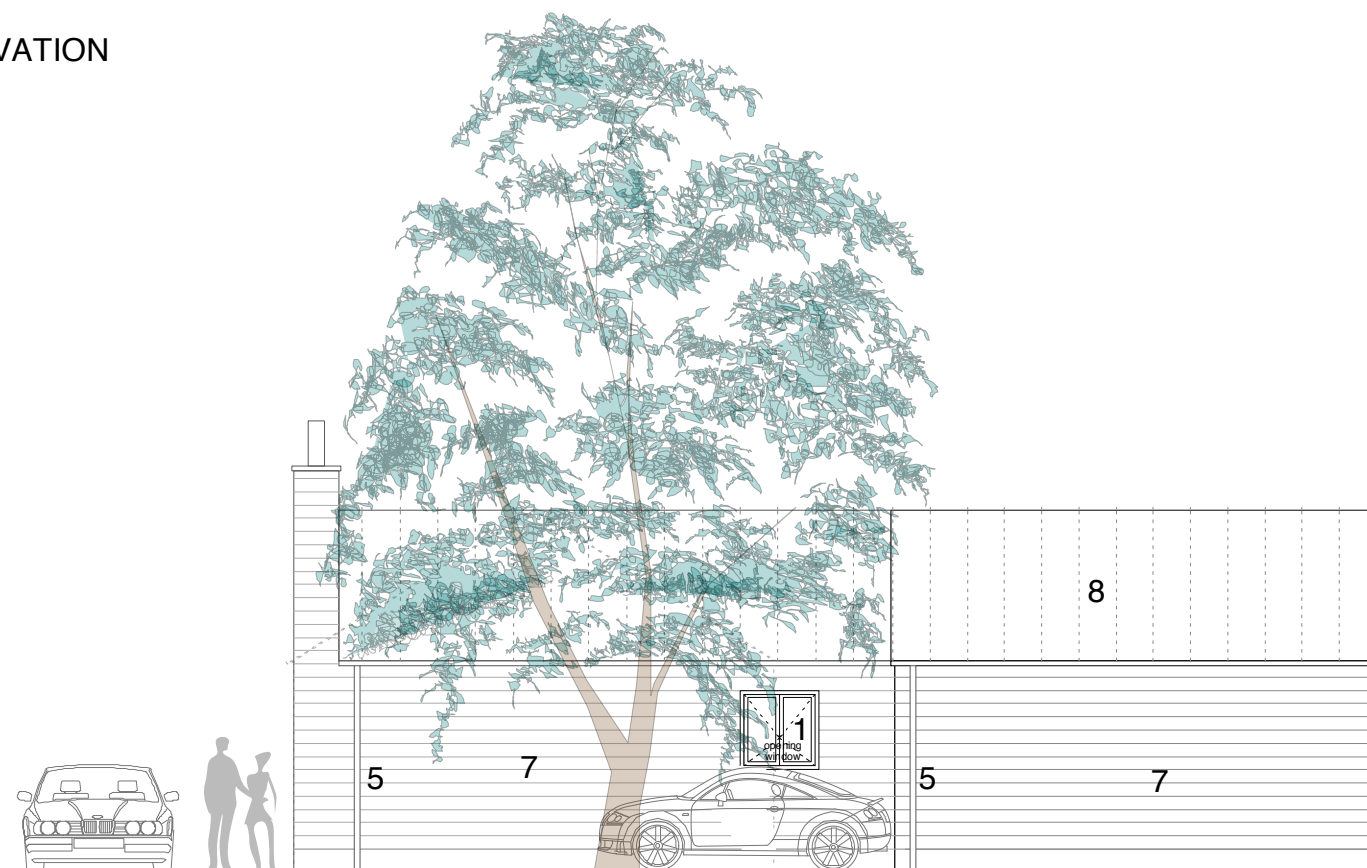
Material key

- 1. timber frame windows & doors
- 2. natural slate roof
- 3. rendered brick and stone
- 4. UPVC windows
- 5. metal rainwater goods
- 6. EPDM rubber membrane roof covering
- 7. Cedral fire cement weather board (light grey)
- 8. natural zinc standing seam roof cladding
- 9. bespoke glvanized metal edge detailing
- 10. timber cladding
- 11. profile metal sheet cladding
- 12. felt roof



ABOVE - proposed image from inside cottage living room looking north to view

EXISTING ELEVATION



PROPOSED ELEVATION

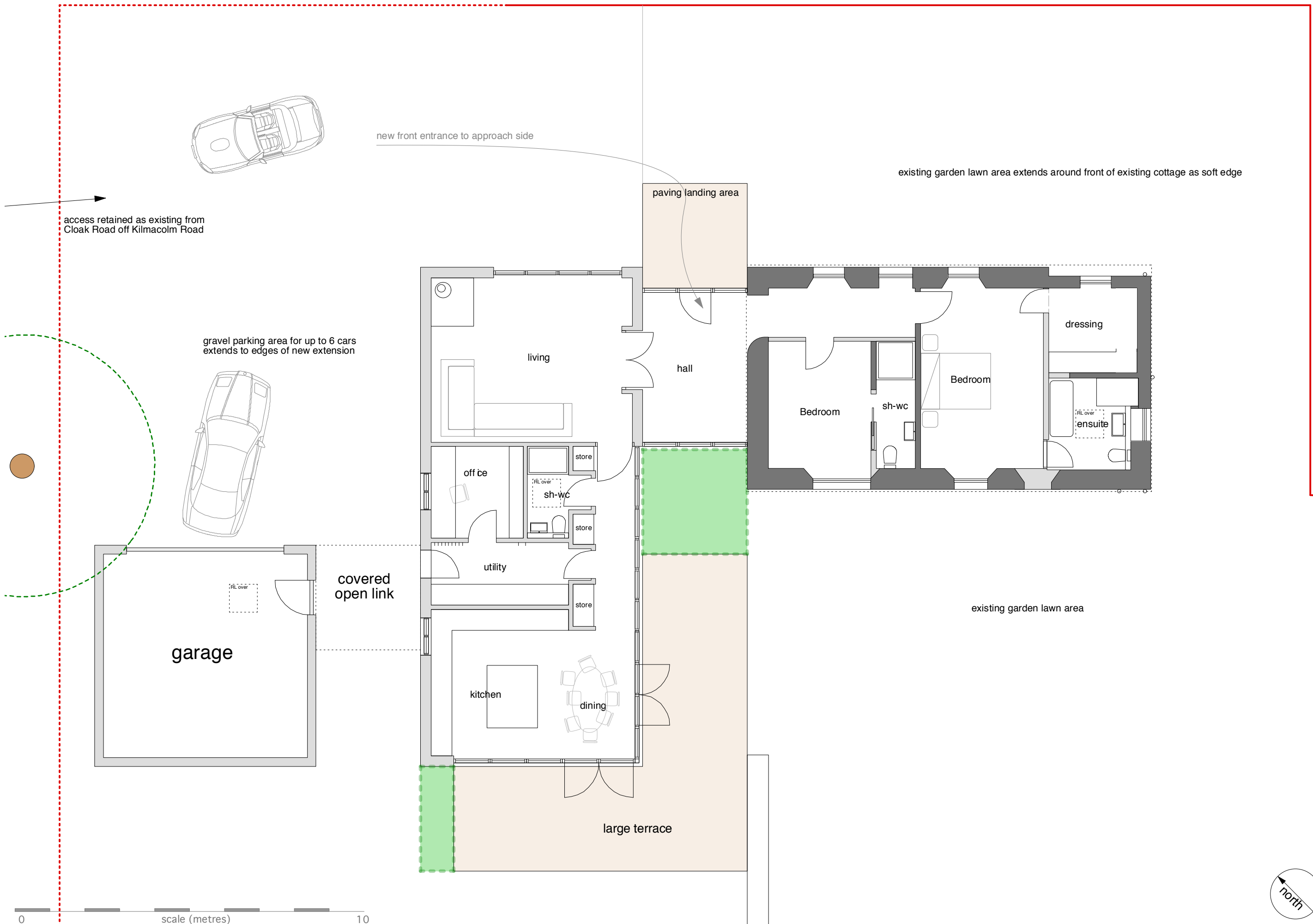


Castlehill Farm Cottage, Port Glasgow  
 Proposed changes for Mr + Mrs Kay

PLANNING Drawing 011 April 2021  
 North-west (side) elevation 1:100 @A3 size

110 Brunswick Street  
 GLASGOW  
 G1 3TA  
 TEL: 07740 862403  
 mail@atastudio.com  
 www.atastudio.com





Castlehill Farm Cottage, Port Glasgow  
 Proposed changes for Mr + Mrs Kay

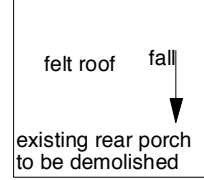
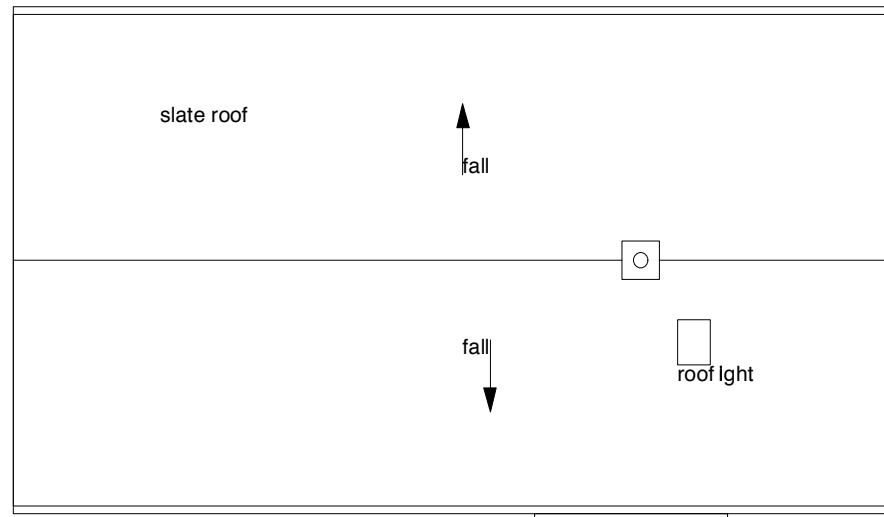
PLANNING Drawing 006 April 2021  
 Proposed floor plan 1:100 @A3 size

110 Brunswick Street  
 GLASGOW  
 G1 3TA  
 TEL: 07740 862403  
 mail@atastudio.com  
 www.atastudio.com

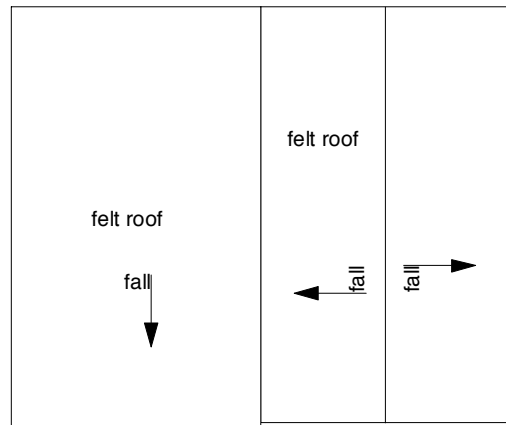




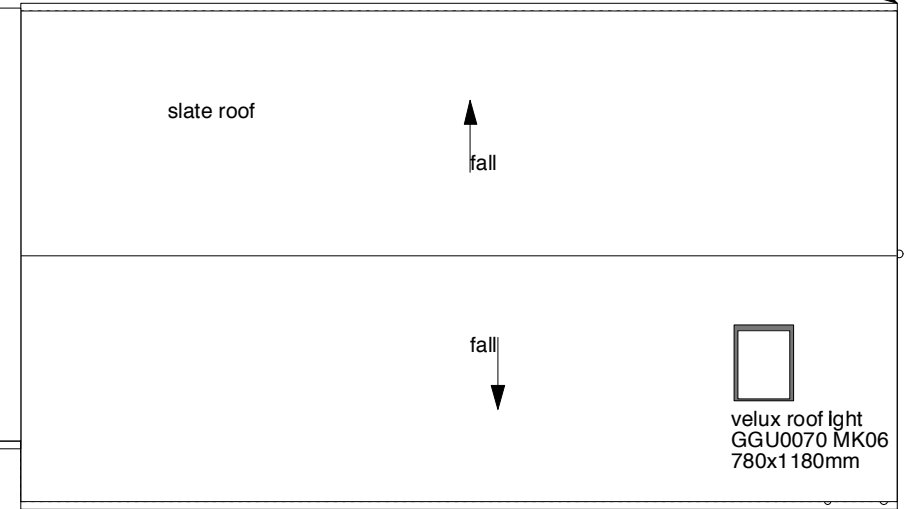
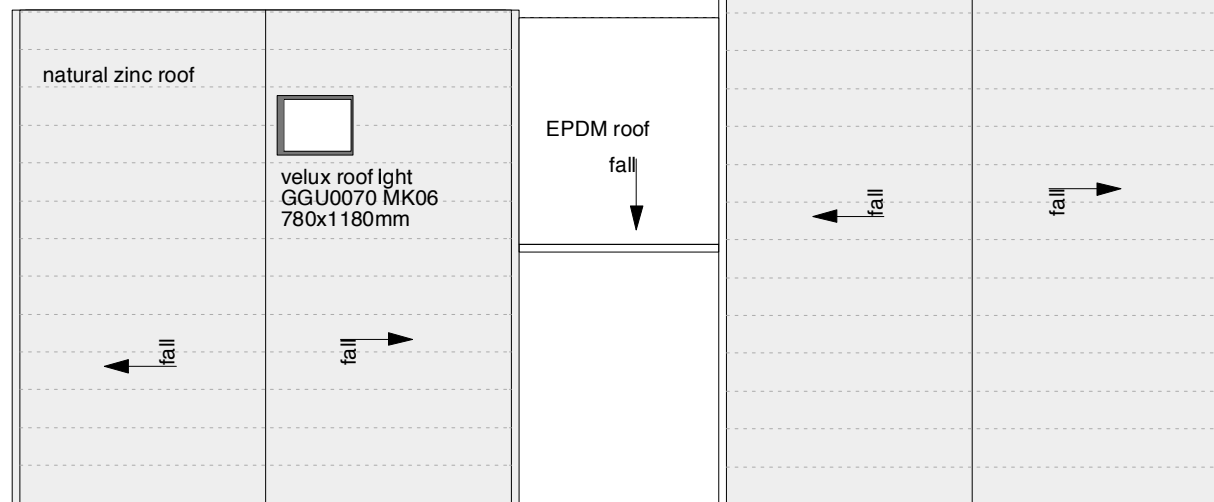
ABOVE - proposed image of extended cottage



EXISTING PLAN



existing garages to be demolished and replaced with cottage extension



PROPOSED PLAN

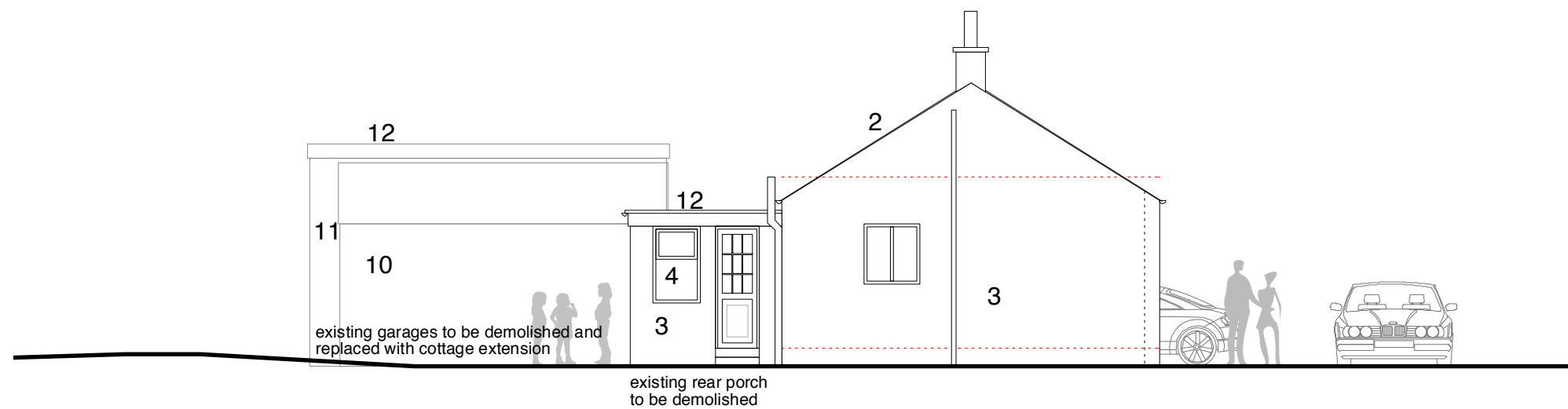


Material key

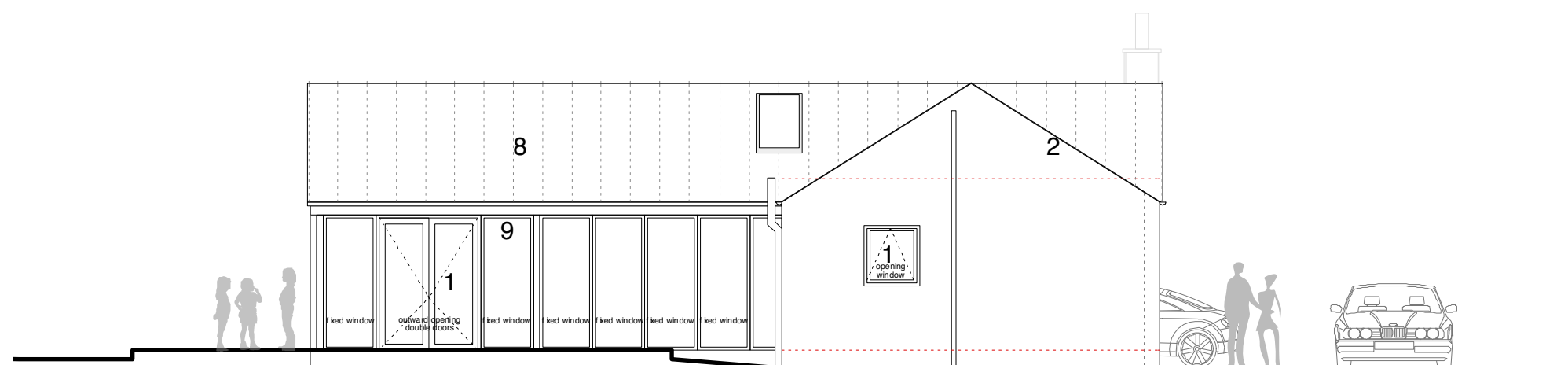
- 1. timber frame windows & doors
- 2. natural slate roof
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- 4. UPVC windows
- 5. metal rainwater goods
- 6. EPDM rubber membrane roof covering
- 7. Cedral fire cement weather board (light grey)
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- 9. bespoke glvanized metal edge detailing
- 10. timber cladding
- 11. profile metal sheet cladding
- 12. felt roof



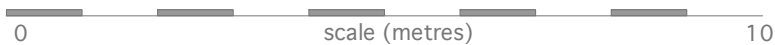
ABOVE - proposed image of cottage showing double gables pitched roof with height and angle to match existing cottage



EXISTING ELEVATION



PROPOSED ELEVATION



Castlehill Farm Cottage, Port Glagsow

Proposed changes for Mr + Mrs Kay

PLANNING Drawing 009 April 2021

South-east (side) elevation 1:100 @A3 size

110 Brunswick Street  
GLASGOW  
G1 3TA  
TEL: 07740 862403  
mail@atastudio.com  
www.atastudio.com

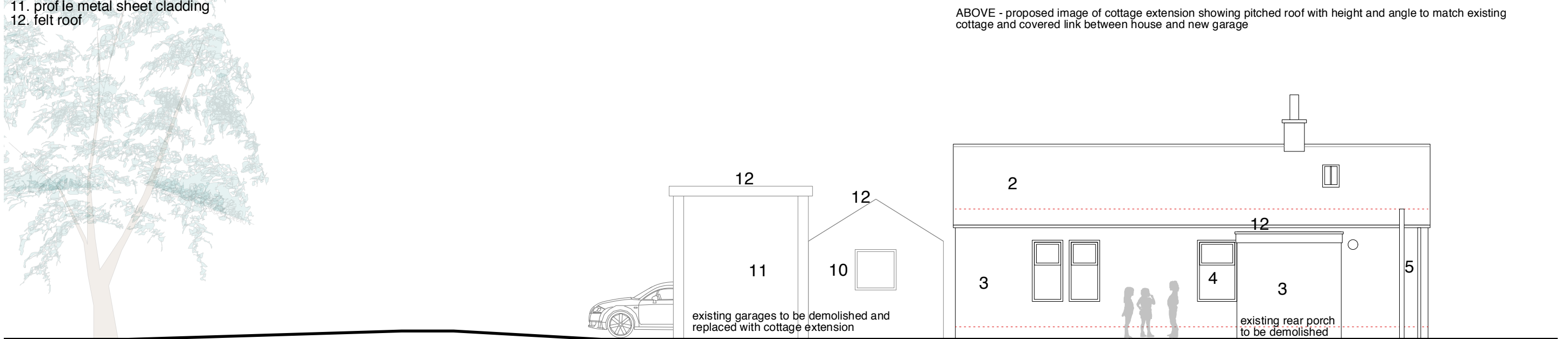


Material key

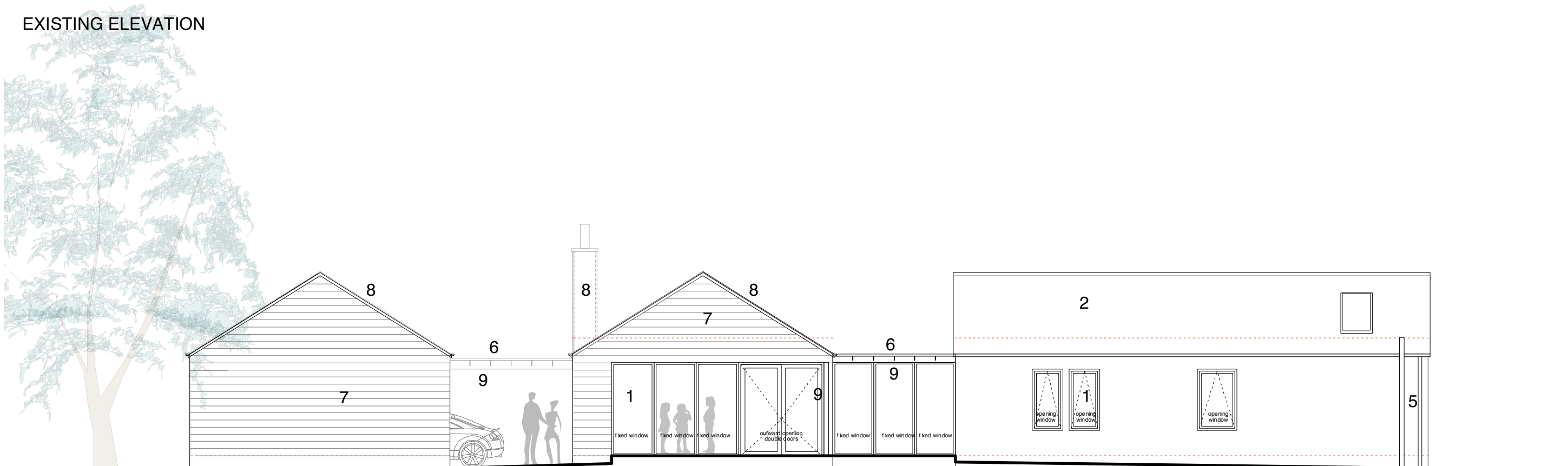
1. timber frame windows & doors
2. natural slate roof
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4. UPVC windows
5. metal rainwater goods
6. EPDM rubber membrane roof covering
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10. timber cladding
11. profile metal sheet cladding
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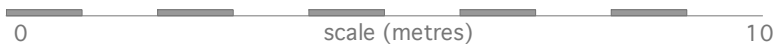
ABOVE - proposed image of cottage extension showing pitched roof with height and angle to match existing cottage and covered link between house and new garage



EXISTING ELEVATION



PROPOSED ELEVATION



Castlehill Farm Cottage, Port Glasgow

Proposed changes for Mr + Mrs Kay

PLANNING Drawing 010revA April 2021

South-west (back) elevation 1:100 @A3 size

110 Brunswick Street  
GLASGOW  
G1 3TA

TEL: 07740 862403  
mail@atastudio.com  
www.atastudio.com





## **2. PLANNING APPLICATION DESIGN STATEMENT**

## Summary of Proposal

This application proposes the extension of an existing dwelling house located off Cloak Road off the Kilmacolm Road (A761) just between the village of Kilmacolm and Port Glasgow. The site is currently occupied by a single storey farm dwelling house in need of significant upgrading. The Farm site area completely surrounds the secluded cottage and garages. Rather than rebuild completely, the proposal seeks to retain the character and history of the existing dwelling named Castlehill Farm Cottage, but sensitively extend it to the side and rear to create a highly efficient, modest family home. The existing two garages and porch are to be demolished and a new replacement garage is to be erected to the side of the dwelling.

This proposal includes details of the existing dwelling, elements to be demolished, the proposed site layout plans, floor plans and elevation drawings together with computer generated visualisations of the proposal.

The existing cottage is very small (footprint of 120m<sup>2</sup>) uninsulated and is not suitably for the current and future needs of the farm owners Mr & Mrs Kay, specifically in relation to the spacial requirements for building control (homes for life regulations, activity and maneuvering spaces and lining the cottage to meet insulation standards) to make a comfortable and accessible home. The house has been designed on one level, with an accessible semi-open plan layout, improved bathroom spaces, covered entrance area and level terrace yet remains modest at 220m<sup>2</sup> in total on one level on a very large site area.

The site is accessed from Cloak Road. This proposal includes repositioning the garden fence around the house, moving this north-west to suit the proposed design layout and keep livestock out of the domestic garden. The extension is sited to the side and rear of the existing front elevation. A new glazed entrance is proposed to allow for a spacious accessible entrance (existing entrance is into an extremely tight and narrow hallway). This new entrance is recessed back from the existing front elevation line to define the existing cottage.

The form and massing of the main extension area mirrors the existing cottage in height and roof pitch. This creates a strong and harmonious relationship and respect between the dwelling and the extension, sensitively integrating old and new. This is further emphasized by lining up the front elevation edge to create a clear geometric relationship. The extension however is finished in a darker colour to contrast the existing white cottage. This scales it back and allows it to visually recede. Edge profile details will also match the existing cottage.

The house plan focuses on two key features, the stunning view to the north and the sunny garden to the south. The new central hallway links the existing cottage volume to the new extension volume, The semi-open plan kitchen-dining-living spaces with glass wall to the south edge face the rear private garden offering visual and physical connection from inside to outside. Bedrooms and bathrooms are located in the existing upgraded cottage volume. The garage is detached from the house but linked with a similar roof to the main entrance to provide cover when entering in a remote and exposed location. The garage is on the line of the existing garages located behind the line of the existing house rear elevation.

Though mirrored in form, the material finish is contrasting yet traditional rural materials namely metal roofing and timber effect cladding. These are reminiscent of a traditional barn and agricultural architecture. The walls are to be light grey Cedral weatherboarding and the roof natural zinc both of which have been chosen to recede in scale and proportion to the main cottage allowing it to stand clearly defined brightly finished in white render and slate roofing.

The site specific dwelling has been designed in a sensitive architectural manner with high quality build materials, timber framed windows and a SIPS thermally efficient frame, taking cues from a selection of agricultural architectural styles, building lines and materials to fit into the context. The proposal will integrate green renewable technologies, sustainable materials and with aims of substantially exceeding the required thermal performance requirements to provide a low carbon, energy efficient home.

Our design is intended to contribute positively to the current and future development of building in and around Kilmacolm by integrating into the site and setting with truly crafted architecture.



proposed images of extended cottage



**3. APPOINTED OFFICER'S REPORT OF HANDLING  
DATED 26 AUGUST 2021**

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**REPORT OF HANDLING**

**Report By:** Craig Iles

**Report No:** 21/0136/IC

**Local Application  
Development**

**Contact  
Officer:** 01475 712462

**Date:** 26<sup>th</sup> August 2021

**Subject:** Change of use of agricultural grazing land to domestic garden ground to form an enlarged garden together with the erection of an extension to the dwellinghouse and associated works at Castlehill Farm Cottage, Kilmacolm Road, Port Glasgow

**SITE DESCRIPTION**

The application relates to a detached single storey cottage and adjacent agricultural land situated within the countryside between Kilmacolm and Port Glasgow. Externally the building has a white painted finish and a slate roof. Although part of Castlehill Farm on Kilmacolm Road, the cottage is accessed independently via a gated track and is around 240 metres from Cloak Road. The cottage is situated within an agricultural field and the curtilage is defined by a timber and wire fence. The nearest neighbouring buildings are at the steading at Castlehill Farm which lies around 165 metres across agricultural fields to the north-east. The dwelling can be seen in views from the A761.

**PROPOSAL**

There are two aspects to the proposal. Firstly, it is proposed to change the use of an area of agricultural grazing land within the field adjacent to the cottage to provide an enlarged domestic curtilage. The current boundary is defined by fencing and new fencing will define the extended curtilage. The curtilage will be extended by approximately 486 square metres. This curtilage extension would be mostly in a north-westerly direction.

Secondly, the enlarged domestic curtilage will allow the erection of an extension to the dwellinghouse. The proposed extension, to be constructed to the north-west within the extended curtilage, will have a footprint of around 100 square metres. The existing dwelling has a footprint of around 120 square metres. A double garage of approximately 41 square metres is also proposed to the side of the new extension and is connected to it by a covered but open link. The extension is of a single storey contemporary design and features a gable profile which follows that of the existing cottage, albeit turned 90 degrees. A central hallway links the existing cottage and the main part of the new extension. External materials proposed are indicated to be a light grey weatherboarding and natural zinc roof. The proposed double garage will be finished to match the new extension. An existing shed and garage within the garden will be removed, as will the existing porch to the rear elevation of the cottage.

The application is supported by a design statement in which the applicant explains the overall rationale of the design approach is to retain the character and history of the existing dwelling and sensitively extend it to the side and rear to create a highly efficient modest family home.

## **DEVELOPMENT PLAN POLICIES**

### **Policy 1 - Creating Successful Places**

Inverclyde Council requires all development to have regard to the six qualities of successful places. In preparing development proposals, consideration must be given to the factors set out in Figure 3. Where relevant, applications will also be assessed against the Planning Application Advice Notes Supplementary Guidance.

### **Policy 14 - Green Belt and Countryside**

Development in the Green Belt and Countryside will only be permitted if it is appropriately designed, located, and landscaped, and is associated with:

- a) agriculture, horticulture, woodland or forestry;
- b) a tourism or recreational use that requires a countryside location;
- c) infrastructure with a specific locational need;
- d) the appropriate re-use of a redundant stone or brick building, the retention of which is desirable for its historic interest or architectural character, subject to that interest or character being retained; or
- e) intensification (including extensions and outbuildings) of an existing use, which is within the curtilage of the associated use and is of an appropriate scale and form.

Proposals associated with the uses set out in criteria a)-c) must provide justification as to why the development is required at the proposed location.

### **Policy 33 - Biodiversity and Geodiversity**

#### **Natura 2000 sites**

Development proposals that are likely to have a significant effect on a Natura 2000 site will be subject to an appropriate assessment of the implications of the proposal on conservation objectives. Proposals will only be permitted if the assessment demonstrates that there will be no adverse effect on the integrity of the site or if:

- a) there are no alternative solutions; and
- b) there are imperative reasons of overriding public interest, including those of a social or economic nature; and
- c) compensatory measures are provided to ensure that the overall coherence of the Natura network is protected.

In such cases, the Scottish Ministers must be notified.

#### **Sites of Special Scientific Interest**

Development affecting Sites of Special Scientific Interest will only be permitted where the objectives of the designation and the overall integrity of the area will not be compromised, or if any significant adverse effects on the qualities for which the area has been designated are clearly outweighed by social, environmental or economic benefits of national importance.

#### **Protected Species**

When proposing any development which may affect a protect species, the applicant should fulfil the following requirements: to establish whether a protected species is present; to identify how the protected species may be affected by the development; to ensure that the development is planned and designed so as to avoid or minimise any such impact, while having regard to the degree of protection which is afforded by legislation, including any separate licensing requirements; and to demonstrate that it is likely that any necessary licence would be granted.

#### Local Nature Conservation Sites

Development is required to avoid having a significant adverse impact on Local Nature Conservation Sites. Any adverse impacts are to be minimised. Where adverse impacts are unavoidable, compensatory measures will be required.

#### Local Landscape Area

Development that affects the West Renfrew Hills Local Landscape Area is required to protect and, where possible, enhance its special features as set out in the Statement of Importance. Where there is potential for development to result in a significant adverse landscape and/or visual impact, proposals should be informed by a landscape and visual impact assessment.

#### Non-designated sites

The siting and design of development should take account of local landscape character. All development should seek to minimise adverse impact on wildlife, especially species and habitats identified in the Local Biodiversity Action Plan. Development should take account of connectivity between habitat areas. Where possible, new development should be designed to conserve and enhance biodiversity.

**Planning Application Advice Note (PAAN) 4** on "House Extensions" applies.

**Planning Application Advice Note (PAAN) 8** on "Siting and Design of New Houses in the Countryside" applies.

### **PROPOSED DEVELOPMENT PLAN POLICIES**

#### **Policy 1 - Creating Successful Places**

Inverclyde Council requires all development to have regard to the six qualities of successful places. In preparing and assessing development proposals, consideration must be given to the factors set out in Figure 2 and demonstrated in a design-led approach. Where relevant, applications will also be assessed against the Planning Application Advice Notes and Design Guidance for New Residential Development Supplementary Guidance. When assessing proposals for the development opportunities identified by this Plan, regard will also be had to the mitigation and enhancement measures set out in the Strategic Environmental Assessment Environmental Report.

#### **Policy 15 - Green Belt and Countryside**

Development in the Green Belt and Countryside will only be permitted if it is appropriately designed, located, and landscaped, and is associated with:

- a) agriculture, horticulture, woodland or forestry;
- b) a tourism or recreational use that requires a countryside location;
- c) infrastructure with a specific locational need;
- d) the appropriate re-use of a redundant stone or brick building, the retention of which is desirable for its historic interest or architectural character, subject to that interest or character being retained; or
- e) intensification (including extensions and outbuildings) within the curtilage of an existing use, which is of an appropriate scale and form.

Proposals associated with the uses set out in criteria a)-c) must provide justification as to why the development is required at the proposed location. Proposals in the green belt must not undermine the objectives of the green belt as set out in Scottish Planning Policy and the Clydeplan Strategic Development Plan. Non-conforming uses will only be considered favourably in exceptional or mitigating circumstances.

## **Policy 33 – Biodiversity and Geodiversity**

### **European sites**

Development proposals that are likely to have a significant effect on a European site which are not directly connected with or necessary to their conservation management must be subject to an appropriate assessment of the implications of the proposal on conservation objectives. Proposals will only be permitted if the assessment demonstrates that there will be no adverse effect on the integrity of the site either during construction or operation of the development, or if:

- a) there are no alternative solutions; and
- b) there are imperative reasons of overriding public interest, including those of a social or economic nature; and
- c) compensatory measures are provided to ensure that the overall coherence of the network is protected.

In such cases, the Scottish Ministers must be notified.

### **Sites of Special Scientific Interest**

Development affecting Sites of Special Scientific Interest will only be permitted where the objectives of the designation and the overall integrity of the area will not be compromised, or if any significant adverse effects on the qualities for which the area has been designated are clearly outweighed by social, environmental or economic benefits of national importance.

### **Protected Species**

When proposing any development which may affect a protected species, the applicant should fulfil the following requirements: to establish whether a protected species is present; to identify how the protected species may be affected by the development; to ensure that the development is planned and designed so as to avoid or minimise any such impact, while having regard to the degree of protection which is afforded by legislation, including any separate licensing requirements; and to demonstrate that it is likely that any necessary licence would be granted.

### **Local Nature Conservation Sites**

Development is required to avoid having a significant adverse impact on Local Nature Conservation Sites. Any adverse impacts are to be minimised. Where adverse impacts are unavoidable, adequate compensatory measures will be required.

### **Non-designated sites**

All development should seek to minimise adverse impact on wildlife, especially species and habitats identified in the Local Biodiversity Action Plan. Development should take account of connectivity between habitat areas. Where possible, new development should be designed to conserve and enhance biodiversity.

**Draft Planning Application Advice Note (PAAN) 4** on "House Extensions" applies.

**Draft Planning Application Advice Note (PAAN) 8** on "Siting and Design of New Houses in the Countryside" applies.

## **CONSULTATIONS**

None required.

## **PUBLICITY**

The application was advertised in the Greenock Telegraph on 10th May 2021 as it is contrary to the development plan.

## **SITE NOTICES**

The nature of the proposal did not require a site notice.

## **PUBLIC PARTICIPATION**

The Kilmacolm Civic Trust intimate that they fully support this application. They further note that the proposal will make the house appropriate for present day living and the design of the extension will fit well within its countryside environment.

## **ASSESSMENT**

The material considerations in determination of this application are the 2019 adopted Inverclyde Local Development Plan (LDP), the 2021 proposed Inverclyde Local Development Plan, adopted and draft Planning Application Advice Notes (PAAN) 4 and 8 on "House Extensions" and "the Siting and Design of Houses in the Green Belt and Countryside" respectively, the visual impact, impact on wider amenity, the applicant's supporting statement and the representation received in support of the proposal.

Policy 1 of the adopted and proposed LDPs seeks to ensure that proposals have regard to the six qualities of successful placemaking. The relevant factors in respect of this development contributing to the qualities of successful places are being "Distinctive" in reflecting local architecture and materials (expanded to "respect landscape setting and character, and urban form" and "reflect local vernacular/architecture and materials" in the proposed LDP), retaining locally distinct built features such as the original cottage and respecting landscape setting together with being "Safe and Pleasant" in avoiding conflict with adjacent uses and minimising the impact of traffic and parking. Adopted and draft PAAN4s provide advice on house extensions and adopted and draft PAAN8 provide specific advice on extensions to dwellings in the Green Belt and Countryside. Policy 14 of the adopted LDP and Policy 15 of the proposed LDP both support extensions to existing properties within the Green Belt where they are appropriately designed and located, and of appropriate scale and form. However, this is where the extension is within the curtilage of the existing use which is not the case here. To accommodate the extension, the existing domestic curtilage needs to be extended into the surrounding agricultural field. Prior to any assessment of the extension itself, it must therefore be considered whether the proposed enlargement of the curtilage can be justified.

The Green Belt is an important strategic tool in directing planned growth to the most appropriate locations; supporting regeneration; safe-guarding identity through place setting and protecting the separation between communities; and protecting the character, landscape setting and identity of settlements. The planning strategy promoted by Policy 14 of the adopted LDP seeks to contain development within the built up area and minimise development in the Green Belt and Countryside. Such development is restricted to specific, appropriate types and where justification is provided as to why the development is required at the proposed location. The proposed development which seeks to expand a domestic curtilage into the surrounding agricultural field is not a development within the Green Belt supported by Policy 14 of the adopted LDP. The existing cottage benefits from a generous curtilage relative to its size and this would allow for the construction of an extension without the requirement to expand the curtilage into the adjacent field. I therefore do not consider there to be any justification for the expansion of the curtilage into the surrounding field in this Green Belt location, contrary to Policy 14 of the adopted LDP. Policy 15 of the proposed LDP takes the same position and additionally permits development in exceptional or mitigating circumstances. I do not consider that there are any such exceptional or mitigating circumstances allowing support for the proposal with reference to Policy 15 of the proposed LDP.

Whilst the enlarged curtilage is required to accommodate the proposed extension and notwithstanding the above, an assessment of the extension itself is also required. In this respect, PAAN4 (adopted and draft) offers guidance on house extensions with PAAN8 (adopted and draft) offering specific advice on extending existing dwellings in the Green Belt. PAAN8 (adopted and draft) recognises that residential buildings are of a variety of shapes and sizes noting that it is important



that alterations to such buildings ensure that their original character is maintained. It is further advised that any extension to an existing residential building in the Green Belt requires to be subsidiary in scale and position to the original dwellinghouse and, in the case of a traditional building, follow the design details specified in the "Design of Housing" section of the PAAN8s. The applicant refers to the extension being to the side and rear of the existing front elevation, bringing both PAAN4s into consideration. The configuration of the existing dwelling on the site leads me to conclude that, relative to the existing dwelling, the proposal is a side extension. Given the absence of immediately adjacent dwellings the remaining relevant guidance in the PAAN4s is that the roof over extensions should match the existing house roof, that extensions should be set back at least 1 metre from the site boundary, and that off street parking requirements of the Council's Roads Development Guide shall be met.

The existing building comprises a small rural cottage and likely originally accommodated a shepherd or agricultural worker. A small extension has previously been constructed to the eastern side of the cottage although this work is likely historic. The cottage is of a traditional design with white painted walls, contrasting window banding to the front elevation and a slate roof. The applicant seeks to extend the small cottage, which it is advised is not insulated and is not suitably for the current and future needs of the farm owners, to create a "home-for-life" family house. As noted, a contemporary approach to the design is taken with the applicant advising that the design concept seeks to retain the character and history of the existing cottage. In the submitted design statement, the applicant further sets out that the form, proportion and massing of the main extension mirrors the existing cottage in height and roof pitch. The extension is finished in a darker colour in contrast to the existing white cottage. This is intended to scale it back and allow it to visually recede. The applicant goes on to set out that the extension is finished in traditional rural materials namely metal roofing and timber effect cladding. These are reminiscent of a traditional barn and agricultural architecture. They have been chosen to recede in scale and proportion to the main cottage, allowing it to stand clearly defined and brightly finished in white render and slate roofing.

Whilst noting the applicant's design statement, it remains that the existing house is of a traditional design and the proposal does not follow the design details required by PAAN8 (adopted and proposed). Additionally, both PAAN8s require extensions to be subsidiary in scale and position to the original dwellinghouse. The combined footprint of the extension and link attached garage exceed the footprint of the original house and they combine to form the dominant part of the house. This is compounded by the position of the extension within the extended plot which results in it being the principal and most prominent feature when approaching the dwellinghouse via the access track from the public road. This results in the primary views of the extended building being the new extension and linked garage, with the original house being subservient behind them. It therefore cannot be argued that the extension is subsidiary in scale and position to the original dwelling as required by both PAAN8s. Having fully assessed the proposal inclusive of the applicant's supporting design statement, the design approach to extending this traditional rural cottage does not follow that specified in the "Design of Housing" section of both PAAN8s. There is nothing that justifies a departure from the guidance within PAAN8 (adopted and proposed). It is also the case that the contrasting roof materials on the extension means that the proposal departs from the guidance in both PAAN4s in this regard. Additionally, the proposal also fails under the "Distinctive" criterion in Policy 1 of both LDPs in that it cannot be considered to reflect local vernacular/architecture and materials. Furthermore, as the extension is not of an appropriate scale and form and is not located within the existing curtilage of the dwellinghouse it is in itself also not a development supported by Policy 14 of the adopted Plan and Policy 15 of the proposed LDP.

Turning to other material considerations not already assessed, the extended dwelling will have two bedrooms and it remains that adequate off-street parking can be accommodated within the site. Given the isolated position, there is no potential to impact on residential amenity within the rural area. I do not consider that the dilapidated small timber garage and the small single skinned, open sided, corrugated sheet shed to be removed raise any concerns regarding potential impact on European Protected Species or other ecology. The change of use element of the proposal relates to a small area of agricultural grazing land and is not covered by any environmental designations. There is no conflict with Policy 33 of the adopted and proposed LDPs.

Overall, a number of concerns arise in respect of the proposal. The expansion of the curtilage into the surrounding field to accommodate the extension in this Green Belt location is not a development supported by Policy 14 of the adopted LDP and there is nothing that suggests any justification for a departure from this policy. Policy 15 of the proposed LDP takes the same position and additionally permits development in exceptional or mitigating circumstances. It is not considered that there are any such circumstances allowing support for the proposal with reference to Policy 15 of the proposed LDP. The design approach to extending this traditional rural cottage does not follow those specified in the "Design of Housing" section of PAAN8 (adopted and proposed) and the extension is not subsidiary in scale and position to the original dwellinghouse as required by both PAAN8s. Furthermore, the relevant guidance on roofs of extensions in both PAAN4s has not been followed. As the extension is not of an appropriate scale and form and is not located within the existing curtilage of the dwellinghouse it is in itself also not a development supported by Policy 14 of the adopted LDP and Policy 15 of the proposed LDP. Additionally, the proposal also fails under the "Distinctive" heading in that it cannot be considered to reflect local vernacular/architecture and materials and is not supported by Policy 1 of either the adopted or proposed LDP.

Overall, therefore, whilst the applicant has sought to approach the design of the extension to the cottage in a contemporary manner, with the aim of drawing a distinction between the original dwelling and the extended element, it has resulted in the original building being dominated by the extension and such an approach is contrary to adopted Council policy as expressed through the relevant policies of the adopted and proposed LDPs and the associated adopted and draft design guidance in both PAAN4s and PAAN8s. The extension of the dwelling's curtilage to achieve this cannot be justified by either LDP.

In conclusion, Section 25 of The Town and Country Planning (Scotland) Act 1997 (as amended) requires that planning applications be determined in accordance with the Development Plan unless material considerations indicate otherwise. The proposal cannot be held to accord with the Development Plan and in reviewing the application together with the applicant's position set out in the supporting statement, it is concluded that there are no material considerations to indicate that the application should be considered favourably.

## **RECOMMENDATION**

That the application be refused for the following reasons:

1. The proposed expansion of the curtilage into the surrounding field to accommodate the extension in this Green Belt location is not a development supported by Policy 14 of the 2019 adopted Inverclyde Local Development Plan and Policy 15 of the 2021 proposed Inverclyde Local Development Plan.
2. The proposed extension is not of an appropriate scale and form and is not located within the existing curtilage of the dwellinghouse. It is accordingly not a development supported by Policy 14 of the 2019 adopted Inverclyde Local Development Plan and Policy 15 of the 2021 proposed Inverclyde Local Development Plan.
3. The proposal fails to have regard to the six qualities of successful places as required by Policy 1 of both the 2019 adopted Inverclyde Local Development Plan and 2021 proposed Inverclyde Local Development Plan, specifically as it cannot be considered to reflect local vernacular/architecture and materials under the "Distinctive" criterion.
4. The design approach to extending this traditional rural cottage does not follow the guidance in the "Design of Housing" section of PAAN8 (adopted and proposed) and the extension is not subsidiary in scale and position to the original dwellinghouse as required by PAAN8 (adopted and proposed).

5. The design approach to extending this traditional rural cottage does not follow the guidance in PAAN4 (adopted and proposed) in that a contrasting roofing material is proposed.

Signed:



Craig Iles  
Planning and Building Standards Manager  
Environment and Economic Recovery



Stuart Jamieson  
Interim Service Director  
Environment & Economic Recovery

## **4. INVERCLYDE LOCAL DEVELOPMENT PLAN 2019 POLICY EXTRACTS**

## 3.0 CREATING SUCCESSFUL PLACES

### Introduction

**3.1** Inverclyde has many fantastic and unique places. Examples include the Free French Memorial and Lyle Hill, which offer panoramic views over the Firth of Clyde; Quarriers Village, built in the 19<sup>th</sup> century as an orphans' village and filled with individually designed homes of that period; the A-listed Edwardian Wemyss Bay railway station; and the grid-pattern Greenock West End conservation area, which is contained to the north by the popular Greenock Esplanade. These, and other places, have stood the test of time and remain places where people want to live and visit.

**3.2** The Council is keen to have more successful places in Inverclyde, and all new development will be expected to contribute to creating successful places. This is particularly important in relation to the Plan's Priority Projects and Priority Places, which reflect major Council investments and the larger scale regeneration opportunities in Inverclyde.

### Creating Successful Places

**3.3** The Council is keen that all development contributes to making Inverclyde a better place to live, work, study, visit and invest. To differing degrees, all scales and types of development have the potential to make an impact on the surrounding environment and community. It is important to the Council that this impact is a positive one. To this end, the Council will have regard to the six qualities of a successful place when considering all development proposals.

**Distinctive**

**Adaptable**

**Resource Efficient**

**Easy to Move Around**

**Safe and Pleasant**

**Welcoming**

**3.4** **Figure 3** illustrates the factors that contribute to the six qualities of a successful place. Not all will be relevant to every development proposal and planning application, but where they are, the Council will expect development proposals to have taken account of them, and it will have regard to them in the assessment of planning applications.



Quarriers Village

### POLICY 1 – CREATING SUCCESSFUL PLACES

Inverclyde Council requires all development to have regard to the six qualities of successful places. In preparing development proposals, consideration must be given to the factors set out in Figure 3. Where relevant, applications will also be assessed against the Planning Application Advice Notes Supplementary Guidance.



Wemyss Bay Railway Station

FIGURE 3: Factors Contributing to Successful Places



**6.10** The Council's preferred location for new development is within the existing towns and villages, particularly where this re-uses previously developed land.

### Green Belt and Countryside

**6.11** The pattern of development within Inverclyde has been very much shaped by its geography, with a densely developed coastal strip giving way to a sparsely developed rural hinterland. This has been reinforced through the years by a planning strategy that has sought to contain development within the built up area and minimise development in the Green Belt and Countryside. The benefits of this strategy have been a focus on the regeneration and renewal of the urban areas, the placing of development into sustainable locations close to existing services and infrastructure, and the protection of our rural environment. This has been achieved through policies which direct development to existing towns and villages, and restrict development in the Green Belt and Countryside to appropriate types and locations. This approach is supported by national policy and Clydeplan and remains appropriate.

## POLICY 14 – GREEN BELT AND COUNTRYSIDE

Development in the Green Belt and Countryside will only be permitted if it is appropriately designed, located, and landscaped, and is associated with:

- a) agriculture, horticulture, woodland or forestry;
- b) a tourism or recreational use that requires a countryside location;
- c) infrastructure with a specific locational need;
- d) the appropriate re-use of a redundant stone or brick building, the retention of which is desirable for its historic interest or architectural character, subject to that interest or character being retained; or
- e) intensification (including extensions and outbuildings) of an existing use, which is within the curtilage of the associated use and is of an appropriate scale and form.

Proposals associated with the uses set out in criteria a)-c) must provide justification as to why the development is required at the proposed location.



Kilmacolm, looking south

## POLICY 33 – BIODIVERSITY AND GEODIVERSITY

### NATURA 2000 SITES

Development proposals that are likely to have a significant effect on a Natura 2000 site will be subject to an appropriate assessment of the implications of the proposal on conservation objectives. Proposals will only be permitted if the assessment demonstrates that there will be no adverse effect on the integrity of the site or if:

- a) there are no alternative solutions; and
- b) there are imperative reasons of overriding public interest, including those of a social or economic nature; and
- c) compensatory measures are provided to ensure that the overall coherence of the Natura network is protected.

In such cases, the Scottish Ministers must be notified.

### SITES OF SPECIAL SCIENTIFIC INTEREST

Development affecting Sites of Special Scientific Interest will only be permitted where the objectives of the designation and the overall integrity of the area will not be compromised, or if any significant adverse effects on the qualities for which the area has been designated are clearly outweighed by social, environmental or economic benefits of national importance.

### PROTECTED SPECIES

When proposing any development which may affect a protected species, the applicant should fulfil the following requirements: to establish whether a protected species is present; to identify how the protected species may be affected by the development; to ensure that the development is planned and designed so as to avoid or minimise any such impact, while having regard to the degree of protection which is afforded by legislation, including any separate licensing requirements; and to demonstrate that it is likely that any necessary licence would be granted.

### LOCAL NATURE CONSERVATION SITES

Development is required to avoid having a significant adverse impact on Local Nature Conservation Sites. Any adverse impacts are to be minimised. Where adverse impacts are unavoidable, compensatory measures will be required.

### LOCAL LANDSCAPE AREAS

Development that affects the West Renfrew Hills Local Landscape Area is required to protect and, where possible, enhance its special features as set out in the Statement of Importance. Where there is potential for development to result in a significant adverse landscape and/or visual impact, proposals should be informed by a landscape and visual impact assessment

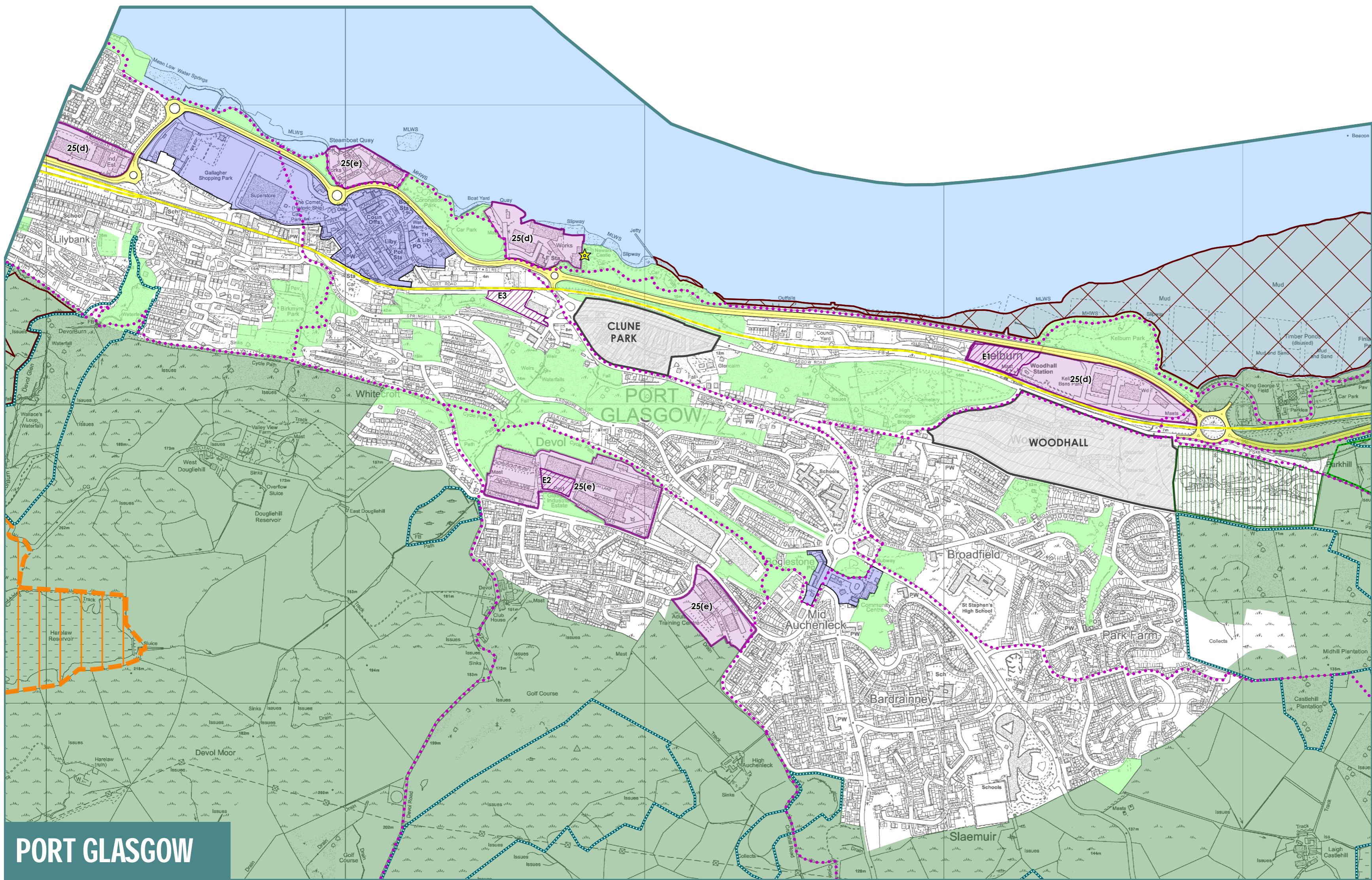
### NON-DESIGNATED SITES

The siting and design of development should take account of local landscape character. All development should seek to minimise adverse impact on wildlife, especially species and habitats identified in the Local Biodiversity Action Plan. Development should take account of connectivity between habitat areas. Where possible, new development should be designed to conserve and enhance biodiversity.





## **5. INVERCLYDE LOCAL DEVELOPMENT PLAN 2019 MAP EXTRACT**

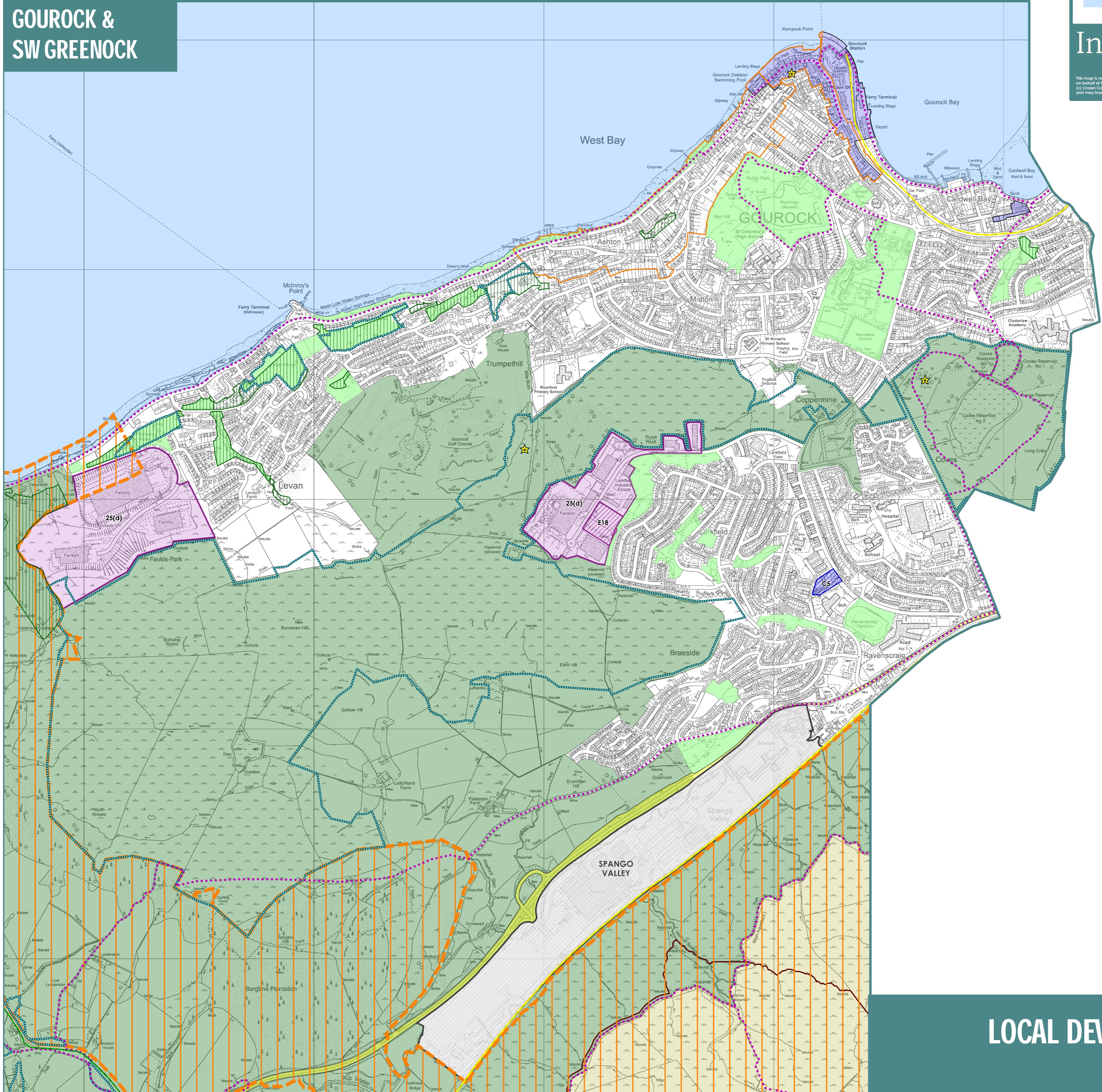


**PORT GLASGOW**

**KEY**

<b>SUSTAINABLE DEVELOPMENT STRATEGY</b>		
	Priority Place	<b>POLICY 3</b>
<b>CONNECTING PEOPLE AND PLACES</b>		
	Trunk Road	<b>POLICY 11</b>
	Railway	<b>POLICY 11</b>
<b>SPATIAL DEVELOPMENT STRATEGY</b>		
	Green Belt	<b>POLICIES 14 &amp; 19</b>
	Countryside	<b>POLICIES 14 &amp; 19</b>
<b>OUR TOWN AND LOCAL CENTRES</b>		
	Town Centre / Local Centre	<b>POLICY 22</b>
	Network of Centres Opportunity	<b>POLICY 22</b>
<b>OUR JOBS AND BUSINESSES</b>		
	Business & Industrial Area	<b>POLICY 25</b>
	Business & Industrial Development Opportunity	<b>POLICY 26</b>
<b>OUR HISTORIC BUILDINGS AND PLACES</b>		
	Conservation Area	<b>POLICY 28</b>
	Scheduled Monument	<b>POLICY 31</b>
	Gardens & Designed Landscapes	<b>POLICY 32</b>
<b>OUR NATURAL AND OPEN SPACES</b>		
	Special Protection Area / Ramsar Site	<b>POLICY 33</b>
	Site of Special Scientific Interest	<b>POLICY 33</b>
	Local Nature Conservation Site	<b>POLICY 33</b>
	Tree Preservation Order	<b>POLICY 34</b>
	Open Space	<b>POLICY 35</b>
	Clyde Muirshiel Regional Park	<b>POLICY 37</b>
	Core Path	<b>POLICY 38</b>
	River Clyde / Firth of Clyde	

**GOUROCK & SW GREENOCK**



**Inverclyde council** SCALE 1:10,000

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**6. INVERCLYDE LOCAL DEVELOPMENT PLAN 2019  
SUPPLEMENTARY GUIDANCE ON PLANNING  
APPLICATION ADVICE NOTES POLICY EXTRACTS**

# PLANNING APPLICATION ADVICE NOTES

## Planning Application Advice Note No. 4

### HOUSE EXTENSIONS

Not all house extensions require planning permission. For works that do require planning permission, this advice note offers guidance on how a house can be extended by achieving a reasonable balance between the interests of those wishing to extend and the interests of their neighbours.

The following advice sets out standards that the Council expect proposals to comply with. Consideration will also be given to contemporary and/or innovative proposals which are considered to have a positive impact on the amenity, character and appearance of the property and its surroundings.

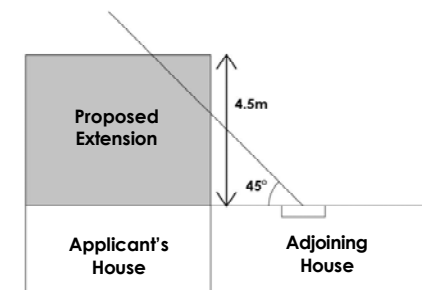
#### Rear extensions

- Single storey extensions should be designed so as not to cross a 45 degree line from the mid point of the nearest ground floor window of the adjoining house, or extend to a maximum of 4.5 metres from the rear wall of the original house.
- Two storey extensions will be considered on individual merit. They should not extend beyond 3.5 metres from the rear wall of the original house or result in unacceptable loss of light to a room in a neighbouring house. The Council will use the Building Research Establishment publication "Site Layout Planning for daylight and sunlight: A guide to good practice" in making this assessment.
- Where the other half of a semi-detached house has already been extended and that extension exceeds 3.5 metres (two storeys) or 4.5 metres

(single storey) from the rear wall of the original house, then the house may be similarly extended to equal size.

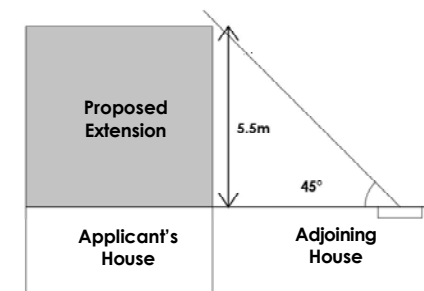
- An extension should not result in more than 50% of the rear garden area being developed. In all cases an extension should not encroach within 5.5 metres of the rear garden boundary.
- Ground level window positions should comply with the window intervisibility guidance. Windows on side elevations should be avoided where they offer a direct view of neighbouring rear/private gardens, but bathroom windows fitted with obscure glazing will be acceptable. As an alternative, boundary screening of appropriate height may be considered where the design and impact on neighbouring residential amenity is deemed acceptable. Where screening is required, it must either not exceed 2.5 metres above ground level or itself result in an unacceptable loss of light to a room in a neighbouring house. The Council will use the Building Research Establishment publication "Site Layout Planning for daylight and sunlight: A guide to good practice" in making this assessment.
- Windows of habitable rooms above ground level should comply with the window intervisibility guidance. Windows on side elevations will only be permitted if the distance to the nearest boundary exceeds 9.0 metres, or if there is no direct view of neighbouring rear/private gardens or if it is a bathroom window fitted with obscure glazing.
- The extension should be finished in materials to compliment those of the existing house.
- The off street parking requirements of the Council's Roads Development Guide shall be met.

ACCEPTABLE



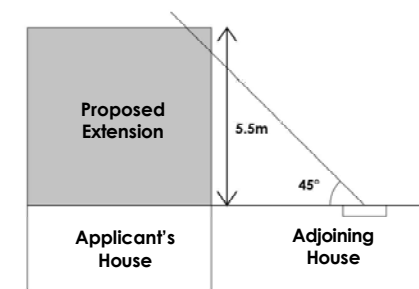
Extension encroaching 45 degree line

ACCEPTABLE



Extension more than 4.5 metres but not

NOT ACCEPTABLE



Extension encroaching 45 degree line

## Side extensions

- Windows on side elevations should be avoided where they offer a direct view of neighbouring rear/private gardens, but bathroom windows fitted with obscure glazing will be acceptable. As an alternative, boundary screening of appropriate height may be considered where the design and impact on neighbouring residential amenity is deemed acceptable. Where screening is required, it must either not exceed 2.5 metres or itself result in an unacceptable loss of light to a room in a neighbouring house. The Council will use the Building Research Establishment publication "Site Layout Planning for daylight and sunlight: A guide to good practice" in making this assessment.
- Ground level window positions should comply with the window intervisibility guidance. Windows of habitable rooms above ground level should comply with the window intervisibility guidance. Windows on side elevations will only be permitted if the distance to the nearest boundary exceeds 9.0 metres, or if there is no direct view of neighbouring rear/private gardens or if it is a bathroom window fitted with obscure glazing.
- Windows which are visible from public areas shall match the scale, proportions and materials of those on the existing house.
- The roof over extensions should match the existing house roof. Extensions should be set back at least 1.0 metre from the site boundary.
- The off street parking requirements of the Council's Roads Development Guide shall be met.

## Conservatories and sun rooms

- Conservatories and sun rooms should be designed so as not to cross a 45 degree line from the mid point of the nearest ground floor window of the adjoining house, or extend to a maximum of 4.5 metres from the rear wall of the existing house, whichever is the greater.
- Where the other half of a semi-detached house has already been extended and that extension exceeds 3.5 metres (two storeys) or 4.5 metres (single storey) from the rear wall of the original house then the conservatory or sun room may extend to equal size.
- A conservatory or sun room should not result in more than 50% of the rear garden area being developed. In all cases a conservatory or sun room should not encroach within 5.5 metres of the rear garden boundary.
- Ground level window positions should comply with the window intervisibility guidance. Windows on side elevations should be avoided where they offer a direct view of neighbouring rear/private gardens. As an alternative, boundary screening of appropriate height may be considered where the design and impact on neighbouring residential amenity is deemed acceptable. Where screening is required, it must not exceed 2.5 metres above ground level or it may itself result in an unacceptable loss of light to a room in a neighbouring house. The Council will use the Building Research Establishment publication "Site Layout Planning for daylight and sunlight: A guide to good practice" in making this assessment.

## Front porches

- Where applicable, porches should be pitch roofed to match the existing roof.
- Base courses should be finished in materials to match the existing house.

## Window intervisibility

The table below details acceptable levels of window to window intervisibility. The distances are taken from the shortest point between the windows.

Minimum Window to Window Distances (metres)

Angle at window of any other house not more than:	Angle at window of house/extension etc. to be erected not more than:									
	90°	80°	70°	60°	50°	40°	30°	20°	10°	0°
90°	18	18	18	18	13	9	6	4	3	2
80°	18	18	18	13	9	6	4	3	2	-
70°	18	18	13	9	6	4	3	2	-	-
60°	18	13	9	6	4	3	2	-	-	-
50°	13	9	6	4	3	2	-	-	-	-
40°	9	6	4	3	2	-	-	-	-	-
30°	6	4	3	2	-	-	-	-	-	-
20°	4	3	2	-	-	-	-	-	-	-
10°	3	2	-	-	-	-	-	-	-	-
0°	2	-	-	-	-	-	-	-	-	-



## Planning Application Advice Note No. 8

### SITING and DESIGN of HOUSES in the GREEN BELT and the COUNTRYSIDE

Inverclyde's countryside is a valuable resource. Much of it is within the Clyde Muirshiel Regional Park and, in general, development is sparse. It is important that the character of the countryside is retained and that where development occurs it merges into the landscape. Where policies permit the development of new houses, the following design principles apply.

#### Siting of New Housing

- Prominent positions on skylines, ridgelines and hill tops and, where in silhouette the buildings will break the landform, are inappropriate.
- Buildings should be set into the landform with excavation or infill minimised.
- Sites adjacent to or within groups of other buildings will be favoured.
- Tree belts and wooded areas can be used as a backdrop to a house to minimise the visual impact.

#### Design of Housing

##### EXTERNAL WALL FINISH

- Natural stone or wet dash render are traditional to the Inverclyde countryside and should be used.

##### BASECOURSES

- Where a traditional wet dash finish is used, it is expected that this will be applied down to ground level.
- Where a basecourse is used, this should be minimal and finished in a smooth cement render.

##### UNDERBUILDING

- Excessive underbuilding should be avoided.

##### WINDOWS AND DOORS

- All windows should have a vertical emphasis and be surrounded by a smooth cement margin.
- Doors should similarly be surrounded by a cement margin.

##### ROOF

- A minimum pitch of 35 degrees should be achieved.
- The roof should be finished in natural slate or a synthetic slate look-a-like tile which reflects the size, colour and edge detail of a natural slate.

##### EAVES / SKEWS

- Boxed eaves, with large fascia boards and barge boards should be avoided.

##### ROOFLIGHTS

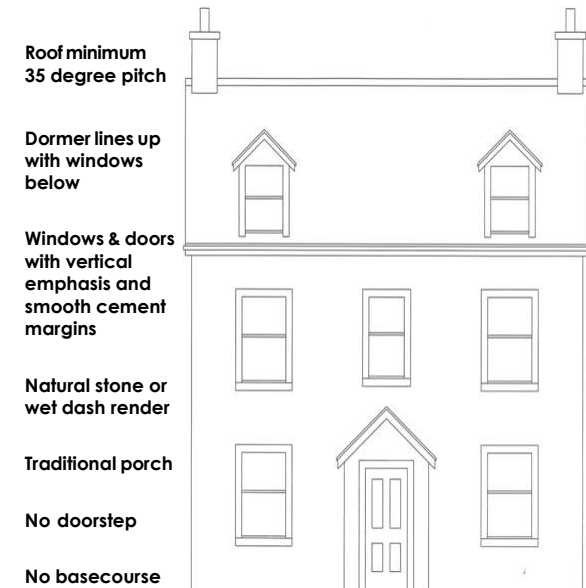
- When required, they should be located at the rear roof plane, have a vertical emphasis and be flush fitted with secret guttering.

##### DORMERS

- The design of dormer windows should accord with the design guidance contained in **Planning Application Advice Note No. 6** on dormer windows. They should be positioned on the roof to vertically line with windows and / or doors on the facade below and be symmetrical.

##### PORCHES

- If required, these should be designed as an integral part of the building.
- Wall finishes, windows, roofs and eaves / skews should reflect the remainder of the building.



## Converting Buildings to Residential Use

The conversion or re-use of existing buildings in the countryside for residential use will be acceptable subject to the following :

- The building should be structurally sound, must be originally constructed of brick or stone with a slate roof or similar and be largely intact and capable of conversion without substantial demolition and rebuild.
- A structural survey of the property has to be submitted to accompany any planning application.
- The original scale, character, proportion and architectural integrity of the building shall remain intact and any extension shall require, at all times, to be subsidiary to the original building.



- Where a traditional building, the detail of design shall follow the criteria specified previously under the heading "Design of Housing".

## Extending Existing Residential Buildings

Residential buildings are of a variety of shapes and sizes and it is important that alterations to such buildings ensure that their original character is maintained. In this respect, any extension to an existing residential building shall require the following:

- To be subsidiary in scale and position to the original dwellinghouse
- To follow the design details specified in the "Design of Housing" in the case of traditional buildings.

## **7. REPRESENTATION IN RELATION TO PLANNING APPLICATION**



Classification: No Classification

**From:** Nicol Cameron [REDACTED]  
**Sent:** 10 May 2021 15:43  
**To:** Devcont Planning <devcont.planning@inverclyde.gov.uk>; Stuart Jamieson <Stuart.Jamieson@inverclyde.gov.uk>  
**Subject:** Application 21/0136/IC - Kilmacolm Civic Trust Comment

**From: Mr R.N. Cameron (Chairman Kilmacolm Civic Trust)**

**To: Mr Stuart Jamieson (Head of Regeneration and Planning, Inverclyde Council)**

Dear Mr Jamieson,

**KILMACOLM CIVIC TRUST COMMENT ON**

**PLANNING APPLICATION 21/0136/IC - CASTLEHILL FARM COTTAGE**

The 15 members of the Kilmacolm Civic Trust Executive Committee have considered this application.

**COMMENT**

- We fully support this application.
- It will make the house appropriate for present day living.
- The design of the extension will fit well within its countryside environment.

Yours Sincerely

***Nicol Cameron***

(Mr R.N. Cameron - Chairman Kilmacolm Civic Trust)

**8. DECISION NOTICE DATED 29 OCTOBER 2021  
ISSUED BY HEAD OF REGENERATION &  
PLANNING**

# DECISION NOTICE

## *Refusal of Planning Permission*

Issued under Delegated Powers

**Regeneration and Planning  
Municipal Buildings  
Clyde Square  
Greenock PA15 1LY**

**Planning Ref: 21/0136/IC**

*Online Ref:100403918-001*

***TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997  
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)  
(SCOTLAND)REGULATIONS 2013***

**Mr & Mrs S Kay  
Castlehill Farm  
Kilmacolm Road  
PORT GLASGOW  
PA14 6SX**

**AtaSTUDIO  
Graeme Andrew  
6 Knockbuckle Lane  
KILMACOLM  
PA13 4JS**

With reference to your application dated 30th April 2021 for planning permission under the above mentioned Act and Regulation for the following development:-

**Change of use of agricultural grazing land to domestic garden ground to form an enlarged garden together with the erection of an extension to the dwellinghouse and associated works at**

**Castlehill Farm Cottage, Kilmacolm Road, Port Glasgow**

**Category of Application - Local Application Development**

The INVERCLYDE COUNCIL in exercise of their powers under the abovementioned Act and Regulation hereby refuse planning permission for the said development.

The reasons for the Council's decision are:-

1. The proposed expansion of the curtilage into the surrounding field to accommodate the extension in this Green Belt location is not a development supported by Policy 14 of the 2019 adopted Inverclyde Local Development Plan and Policy 15 of the 2021 proposed Inverclyde Local Development Plan.
2. The proposed extension is not of an appropriate scale and form and is not located within the existing curtilage of the dwellinghouse. It is accordingly not a development supported by Policy 14 of the 2019 adopted Inverclyde Local Development Plan and Policy 15 of the 2021 proposed Inverclyde Local Development Plan.
3. The proposal fails to have regard to the six qualities of successful places as required by Policy 1 of both the 2019 adopted Inverclyde Local Development Plan and 2021 proposed Inverclyde Local Development Plan, specifically as it cannot be considered to reflect local vernacular/architecture and materials under the "Distinctive" criterion.
4. The design approach to extending this traditional rural cottage does not follow the guidance in the "Design of Housing" section of PAAN8 (adopted and proposed) and the extension is not subsidiary in scale and position to the original dwellinghouse as required by PAAN8 (adopted and proposed).
5. The design approach to extending this traditional rural cottage does not follow the guidance in PAAN4 (adopted and proposed) in that a contrasting roofing material is proposed.

The reason why the Council made this decision is explained in the attached Report of Handling.

Dated this 29th day of October 2021

  
**Mr Stuart W. Jamieson**  
**Interim Service Director**  
**Environment and Economic Recovery**

- 1 If the applicant is aggrieved by the decision of the Planning Authority to refuse permission for or approval required by condition in respect of the proposed development, or to grant permission or approval subject to conditions, he may seek a review of the decision within three months beginning with the date of this notice. The request for review shall be addressed to The Head of Legal and Administration, Inverclyde Council, Municipal Buildings, Greenock, PA15 1LY.
- 2 If permission to develop land is refused or granted subject to conditions, and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, he may serve on the planning authority a purchase notice requiring the purchase of his interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997

**Refused Plans: Can be viewed Online at <http://planning.inverclyde.gov.uk/Online/>**

Drawing No:	Version:	Dated:
002		01.04.2021
003		01.04.2021
004		01.04.2021
005		01.04.2021
006		01.04.2021
007	rev A	01.04.2021
008	rev A	01.04.2021
009		01.04.2021
010	rev A	01.04.2021
011		01.04.2021
013		01.04.2021
014		01.04.2021

**9. NOTICE OF REVIEW FORM DATED 9 JANUARY  
2022 WITH SUPPORTING STATEMENT FROM  
SCOTPLAN**

# NOTICE OF REVIEW

UNDER SECTION 43A(8) OF THE TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (AS AMENDED) IN RESPECT OF DECISIONS ON LOCAL DEVELOPMENTS

THE TOWN AND COUNTRY PLANNING (SCHEMES OF DELEGATION AND LOCAL REVIEW PROCEDURE) (SCOTLAND) REGULATIONS 2013

THE TOWN AND COUNTRY PLANNING (APPEALS) (SCOTLAND) REGULATIONS 2013

**IMPORTANT: Please read and follow the guidance notes provided when completing this form. Failure to supply all the relevant information could invalidate your notice of review.**

Use **BLOCK CAPITALS** if completing in manuscript

## Applicant(s)

Name

Address

Postcode

Contact Telephone 1

Contact Telephone 2

Fax No

E-mail\*

## Agent (if any)

Name

Address

Postcode

Contact Telephone 1

Contact Telephone 2

Fax No

E-mail\*

Mark this box to confirm all contact should be through this representative:

\* Do you agree to correspondence regarding your review being sent by e-mail?  Yes  No

Planning authority

Planning authority's application reference number

Site address

Description of proposed development

Date of application  Date of decision (if any)

**Note.** This notice must be served on the planning authority within three months of the date of the decision notice or from the date of expiry of the period allowed for determining the application.

**Nature of application**

- 1. Application for planning permission (including householder application)
- 2. Application for planning permission in principle
- 3. Further application (including development that has not yet commenced and where a time limit has been imposed; renewal of planning permission; and/or modification, variation or removal of a planning condition)
- 4. Application for approval of matters specified in conditions

**Reasons for seeking review**

- 1. Refusal of application by appointed officer
- 2. Failure by appointed officer to determine the application within the period allowed for determination of the application
- 3. Conditions imposed on consent by appointed officer

**Review procedure**

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may tick more than one box if you wish the review to be conducted by a combination of procedures.

- 1. Further written submissions
- 2. One or more hearing sessions
- 3. Site inspection
- 4. Assessment of review documents only, with no further procedure

If you have marked box 1 or 2, please explain here which of the matters (as set out in your statement below) you believe ought to be subject of that procedure, and why you consider further submissions or a hearing are necessary:

Due to inaccuracies in the planning process and in relation to the need for and a requirement for the application to refer to curtilage extension as a planning requirement (which is not a legal requirement in Scottish planning law) the officers have determined the refused application from a false and unjustified base. That has in turn wrongly directed the officer preparing the Council decision to reject the proposal and has not considered the full facts and has given no opportunity for the client to present this information and has thereby prevented a fair assessment of all facts,  
**Site inspection**

In the event that the Local Review Body decides to inspect the review site, in your opinion:

- |  | Yes                                 | No                       |
|--|-------------------------------------|--------------------------|
| 1. Can the site be viewed entirely from public land?                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Is it possible for the site to be accessed safely, and without barriers to entry? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

If there are reasons why you think the Local Review Body would be unable to undertake an unaccompanied site inspection, please explain here:

None, but an accompanied site inspection would allow the appellant an opportunity to answer all relevant Panel Questions.

**Statement**

You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. Note: you may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

If the Local Review Body issues a notice requesting further information from any other person or body, you will have a period of 14 days in which to comment on any additional matter which has been raised by that person or body.

State here the reasons for your notice of review and all matters you wish to raise. If necessary, this can be continued or provided in full in a separate document. You may also submit additional documentation with this form.

See Separate Submission

Have you raised any matters which were not before the appointed officer at the time the determination on your application was made?

Yes  No

If yes, you should explain in the box below, why you are raising new material, why it was not raised with the appointed officer before your application was determined and why you consider it should now be considered in your review.

The Planning Authority have not allow this fuller statement to be considered by officers, and in particular the Scottish Government's view that curtilage does not require to be shown when all land is in the one ownership. This has not been allowed for, and instead the authority has wrongly widened the reasons for refusal and has rejected the application rather than assessing and approving it as a justified expansion of an existing residential property requiring expansion to create sustainable economic development in line with Scottish Government Policy



**List of documents and evidence**

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review.

This submission and supporting statement, together with all documents already submitted to Inverclyde Council, as part of application 21/0136/IC should be available to the Review Panel

**Note.** The planning authority will make a copy of the notice of review, the review documents and any notice of the procedure of the review available for inspection at an office of the planning authority until such time as the review is determined. It may also be available on the planning authority website.

**Checklist**

Please mark the appropriate boxes to confirm you have provided all supporting documents and evidence relevant to your review:

- Full completion of all parts of this form
- Statement of your reasons for requiring a review
- All documents, materials and evidence which you intend to rely on (e.g. plans and drawings or other documents) which are now the subject of this review.

**Note.** Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice from that earlier consent.

**Declaration**

I the applicant/agent [delete as appropriate] hereby serve notice on the planning authority to review the application as set out on this form and in the supporting documents.

Signed

John Smith  
SCOTPLAN

Date

9th January 2022

**Data Protection:** Inverclyde Council is obliged to comply with current Data Protection Laws and will use this information for the purpose of The Town and Country Planning (Scotland) Act 1997 and related purposes, legislation and regulation.

Further information can be found at [www.inverclyde.gov.uk/privacy](http://www.inverclyde.gov.uk/privacy)

## **Castlehill Farm Cottage, Port Glasgow**

### **Supportive Submission**

We were surprised and disappointed to find that the planning application relating to the above property had been refused following assessment by your officer, Craig Isles. The architect had been liaising with the previous case officer, James McColl, who appeared to be looking favourably on it. No opportunity to discuss the reasons for refusal was given prior to the decision being issued.

The existing cottage is very small (footprint 120m<sup>2</sup>) and, as noted in the design statement provided with the application, is not suitable for the current or future use of Mr & Mrs Kay. They intend to retire to the cottage and to rent out the farm (land, house and agricultural buildings) to a suitable young farmer or new farming entrant.

The justification statement that travelled with this application made it clear that the application was to maintain the existing residential land use (not to introduce a new use into the greenbelt and countryside) but to enlarge the curtilage of the property. It could be argued that the current curtilage of the application could be a substantial proportion of Castlehill Farm there being no need for formal boundary definition.

***“It should be noted that curtilage is not defined in the 1997 Act or 1992 Order but it is accepted to mean land which is used for the comfortable enjoyment of a building, and which serves the purpose of that building in some necessary or reasonably useful way. It need not be marked off or enclosed in any way.”***

The above quote from Scottish Government advice (Copied in Red) makes it clear that such land considered to be curtilage does not require to be identified or defined. Therefore, it is inappropriate to insist that such land be eliminated from any proposal, and just as importantly your officers should not be attempting to wrongly amend a planning application to generate additional planning fees or to provide support for their stance in refusing an application.

In addition, the officer is wrong to argue that it conflicts with Council policy re Greenbelt when it is perfectly clear that the proposal is not for a new use in the greenbelt (requiring compliance with relevant requirements of such policy). Since the proposal merely extends an existing property it falls under the acceptable Section E (Intensification) which fully accords with Scottish Government policy for Sustainable development and continues the sustainable use of an existing residential building.

The National Performance Framework is the spatial expression of the Government Economic Strategy (2011) and sustainable economic growth forms the foundations of its

strategy. The NPF sits at the top of the development plan hierarchy and must be taken into account in the preparation of strategic and local development plans and ensuing decisions. The Government Economic Strategy indicates that sustainable economic growth is the key to unlocking Scotland's potential and outlines the multiple benefits of delivering the Government's purpose, including creating a supportive business environment, achieving a low carbon economy, tackling health and social problems, maintaining a high-quality environment and passing on a sustainable legacy for future generations. We believe that the proposed upgrading of the existing building and extension meets several of these goals.

Craig Isles' report also makes reference on several occasions, to the six qualities of successful places set out as:

- distinctive;
- safe and pleasant;
- easy to move around;
- welcoming;
- adaptable;
- resource efficient.

In response, the current refused application addressed these six matters, positively and in the following ways

1. Distinctive - The proposed extension and upgrading to the existing property is distinctive whilst at the same time respectful to the existing building, mirroring the existing cottage in height and roof pitch and using materials reminiscent of traditional barn and agricultural architecture. It makes the location of this enlarged family home a distinctive sustainable venue for an enlarged family home for life.
- 2 Safe and Pleasant - This relatively isolated but secure location makes this proposal safe and pleasant. It adds additional security to the farm by overlooking many of the fields from a high vantage point. There are no immediate neighbours who could be adversely affected by the building of this extension.
- 3 Easy To Move Around - The relatively easy access and proximity to public transport bus routes to Kilmacolm and Port Glasgow and decent easy gradient routes makes this location easy to move around. The existing building is too small to meet 'home for life' guidance but with additional space created by the extension we can provide a comfortable flexible life-long living environment that is sustainable, easy to live in and manoeuvre around.
- 4 Welcoming – The general location is easily found and because of the nature of the environment and its landscape context it can easily be described as welcoming. With

extension space added, a generous welcoming entrance hall (12m<sup>2</sup>) is provided, instead of the existing 3m<sup>2</sup> hall where it is not comfortable for two people at the same time. Currently anyone arriving in a wheelchair or a group of visitors would not fit in the hall together and this justifies the proposal to make the development more welcoming.

5        Adaptable – Assessment of the location and the site itself, means that the site can be viewed as adaptable and the house is proposed to be adapted and extended rather than replaced, to provide a sustainable reuse and future home for the owners to enjoy into old age.

6        Resource Efficient - Perhaps most importantly this extended home is designed to be extremely resource efficient. The upgraded existing cottage will be fully insulated whilst the proposed extension is to be constructed using a SIPS thermally efficient frame. There will be new windows throughout and the proposed glass wall to the south edge of the extension will allow maximum solar gain, helping to further reduce heating requirements. The proposal will also integrate green renewable technologies including a ground source heat pump, solar PV panels and an electric car charging point. The aim is to substantially exceed the thermal performance requirements to provide a low carbon, energy efficient sustainable home.

*It should also be noted that there were no related objections to the proposal, and the Kilmacolm Civic Trust supported the proposal and favourably commented on the proposal's design.*

The Council officer's apparent lack of consideration of the wider Scottish Government policies must allow this matter to be reviewed. It would be appreciated if these points were taken on board by the Inverclyde Council Review Panel, the previous officer's negative determination rejected and a favourable assessment and approval of the current proposals made.

**10. SUGGESTED CONDITIONS SHOULD PLANNING  
PERMISSION BE GRANTED ON REVIEW**

## **21/0136/IC - Review - Suggested Conditions**

Should planning permission in principle be granted on review the following conditions are suggested.

### Conditions:

1. That prior to the commencement of development, samples of all facing materials to be used shall be submitted to and approved in writing by the Planning Authority. The approved materials shall thereafter be used unless a variation is agreed in writing with the Planning Authority.
2. That prior to the commencement of development, full details of the proposed new boundary treatment for the curtilage shall be submitted to and approved in writing by the Planning Authority. The approved boundary measures shall thereafter be erected prior to the extension hereby permitted being brought into use unless variation is agreed in writing with the Planning Authority.

### Reasons:

1. To ensure the acceptability of the proposed facing materials in the interests of visual amenity.
2. To define the new curtilage.



Inverclyde  
council

**LOCAL  
DEVELOPMENT  
PLAN**

**PROPOSED PLAN**  
MAY 2021

# HOW TO RESPOND TO THE PROPOSED PLAN

The Proposed Local Development Plan represents the settled view of Inverclyde Council as to what the content of the Adopted Local Development Plan should be. However, publication of the Proposed Plan allows for those with an interest in the Plan to make representations setting out modifications they would like to be made to it. Representations of support for the Proposed Plan can also be submitted.

An official representation form is available as an electronic document (Word and PDF). The form is available online and paper copies can be provided on request. An e-form is also available online.

Representations should make clear what modification is being sought and the reasons for the suggested modification. Where possible please use a chapter, paragraph, schedule or site reference. Respondents are encouraged to limit their representation on any one issue to no more than 2,000 words plus limited supporting productions. Separate response forms should be used for each different issue a response is being made in respect of.

Representations can be submitted by:

- e-mail to [ldp@inverclyde.gov.uk](mailto:ldp@inverclyde.gov.uk) with the subject heading 'Proposed Local Development Plan 2021'
- completing the e-form available at <https://www.inverclyde.gov.uk/newldp>
- writing to  
Planning Policy,  
Regeneration & Planning,  
Municipal Buildings,  
Clyde Square,  
Greenock,  
PA15 1LY

The period for submitting representations runs **until 9 July 2021**.

Please contact the Planning Policy team with any queries you have in respect of the Proposed Local Development Plan:

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<b>Margaret Pickett</b>	01475 712493	<a href="mailto:margaret.pickett@inverclyde.gov.uk">margaret.pickett@inverclyde.gov.uk</a>
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# FOREWORD

Welcome to the Inverclyde Local Development Plan.

The aim of the Plan is to deliver an Inverclyde that is an attractive and inclusive place to live, work, study, visit, and invest. It does this through encouraging investment and new development, which is sustainably designed and located and contributes to the creation of successful places.

The Council and its community planning partners in the Inverclyde Alliance have established, through the Inverclyde Outcomes Improvement Plan, four priorities for making Inverclyde a successful place. These are: population; the local economy; inequalities; and environment, culture and heritage.

To address population and the local economy, the Outcomes Improvement Plan recognises employment and housing opportunities as crucial. The Local Development Plan responds by identifying land for over 5,700 new houses and over 30 hectares of land for new industrial and business development. Population stability, and growth in the longer term, will also be driven by enhancing the image of Inverclyde and the Plan includes proposals for our larger regeneration sites, which we refer to as Priority Places; policies to support our town and local centres; and sets a requirement for all new development to contribute towards creating successful places.

In response to the environment, culture and heritage priority, the Plan continues to protect our historic buildings and places, and our network of natural and open spaces and habitats. These include the Inner Clyde and Renfrewshire Heights Special Protection Areas, 7 Sites of Special Scientific Interest, 57 Local Nature Conservation Sites, 8 Conservation Areas, 247 Listed Buildings, 31 Scheduled Monuments and 3 Gardens and Designed Landscapes. In addition to designated sites, there is a range of non-designated historic assets and areas of historic and natural value, including non-listed buildings of historic/architectural interest and the green and blue network. Collectively, these natural and historic assets demonstrate the natural and cultural richness and diversity of Inverclyde.

Through addressing the above priorities, the Local Development Plan will also contribute to addressing inequalities.

The Plan also seeks to ensure that Inverclyde is a more sustainable place and contributes towards the national net-zero greenhouse gas emissions target. It supports low carbon infrastructure and directs development to sustainable locations which reduce the need for car travel. It also seeks to build climate resilience into our environment to enable communities and wildlife to adapt to the impacts of climate change.

## COVID-19

The Plan has been prepared at a time when Inverclyde is still being impacted by the COVID-19 pandemic. The pandemic has had an impact on the social, health and economic life of the area, both through the impact of the virus itself and the interventions to deal with it, such as lockdowns, a shift to home working and a greater focus on local living.

Whilst this Plan will play a supporting role in Inverclyde's recovery from the pandemic, it has been prepared at a time when the long-term implications are unclear, and when flexibility to react to changes may be required. Clydeplan, the Strategic Development Planning Authority for the Glasgow City Region, has considered the implications of COVID-19 for the Glasgow City Region and spatial planning. These include:

- A greater focus on town centre regeneration, and innovative approaches to it, as the pandemic has accelerated existing trends such as reduced footfall and increasing vacancies and internet sales.
- Changing market demand for commercial property as more people work from home. This may have knock on effects for the vitality of current business locations and the provision of commercial land in the future.
- Increased demand for quality private garden space, home working space and rural living. This may have implications for the location, layout and design of residential development.
- Increased demand for services, leisure opportunities, open spaces and active travel routes within local areas.
- Changing transport and digital infrastructure demands due to changes in work and recreational patterns. This may impact current and future provision.
- A recognition that engaging with nature provides significant mental health and wellbeing benefits and that our green/open spaces, buildings and the urban environment generally should aim to deliver more in the way of opportunities for nature to thrive.

The Plan sets out a strategy and policy framework that seeks to support these potential implications, whilst still providing certainty for businesses and communities.

Thank you for your interest in the future development of Inverclyde and we look forward to working with you to make Inverclyde a successful place.

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# INTRODUCTION

**1.1** The Inverclyde Local Development Plan sets out the Council's strategy, policies and proposals for the use of land and buildings within Inverclyde and, together with the Clydeplan Strategic Development Plan, is the document the Council uses to shape development proposals and determine planning applications.

**1.2** The overall aim of this Plan is to contribute towards Inverclyde being an attractive and inclusive place to live, work, study, visit and invest, now and in the future, particularly through encouraging investment and new development, which is sustainably designed and located, and contributes to the creation of successful places. This is underpinned by a Sustainable Development Strategy and a Spatial Development Strategy, the components of which are set out in **Figure 1**.

**FIGURE 1: Inverclyde Local Development Plan Aims and Strategies**



## Structure of the Local Development Plan

1.3 The Local Development Plan comprises two main parts:

- **Written Statement** – this document sets out, in narrative form, the strategy and policies of the Plan and the reasoning behind the policies. Following the introduction, it is split into the two main strategy areas – Sustainable Development Strategy and Spatial Development Strategy – with each of these sub-divided into topic specific sections. Proposals for specific sites are listed in a series of schedules found throughout the Plan, with supporting information provided in tables and figures.
- **Proposals Maps** – this is an Ordnance Survey based map that illustrates the areas which the policies and proposals of the Plan apply to.

## Accompanying and supporting documents

1.4 **Supplementary Guidance** – this will be prepared for the following topics and will provide further information or detail in respect of the Plan's policies:

- Affordable Housing in the Inverclyde Villages
- Design Guidance for Residential Development
- Developer Contributions
- Enabling Development
- Energy
- Trees
- Delivering Green Infrastructure Through New Development
- Planning Application Advice Notes
- Priority Places

1.5 As this Plan was prepared prior to the development planning provisions of the Town and Country Planning (Scotland) Act 2019 coming into effect, Supplementary Guidance forms part of the Development Plan. Non-statutory Planning Guidance may also be published by the Council, as required. Planning Guidance will not form part of the Development Plan, but will be a material consideration in the determination of planning applications.

1.6 **Strategic Environmental Assessment Environmental Report** – this assesses the environmental effects of the Plan's policies and proposals and, where necessary, identifies measures to mitigate any significant adverse effects and enhance positive effects, which will then inform site-specific development requirements at the planning application stage.

1.7 **Habitats Regulations Appraisal Record** – this assesses whether a Plan may have an impact on a European site, which is a collective term for nature conservation sites recognised at a European level. Inverclyde has two such areas - the Renfrewshire Heights Special Protection Area and the Inner Clyde Special Protection Area.

1.8 **Equalities Impact and Fairer Scotland Duty Assessment** – this assesses the impact of the Plan in terms of the Council's equality and Fairer Scotland duties.

1.9 **Action Programme** – this sets out the actions required to successfully deliver the Plan's strategy and proposals, identifying actions, the organisations responsible for delivering them, and the timescale for delivery. It is updated every two years.

1.10 **Housing Land Technical Report 2021** – this sets out the housing land requirement that is to be provided for by the Plan with regard to the Housing Need and Demand Assessment and Clydeplan Strategic Development Plan.



View from Coronation Park, Port Glasgow

# INVERCLYDE OUTCOMES IMPROVEMENT PLAN

**2.1** The Inverclyde Outcomes Improvement Plan sets out the four priorities of Inverclyde's community planning partners - The Inverclyde Alliance. These are:

## **Priority 1: Population**

Inverclyde's population will be stable and sustainable with an appropriate balance of socio - economic groups that is conducive to local economic prosperity and longer term population growth.

## **Priority 2: The Local Economy**

Inverclyde has a thriving and diverse local economy, economic activity is increased and skills development enables both those in work and those furthest from the labour market to realise their full potential.

## **Priority 3: Inequalities**

There will be low levels of poverty and deprivation and the gap in income and health between the richest and poorest members of our communities will be reduced.

## **Priority 4: Environment, Culture and Heritage**

Inverclyde's environment, culture and heritage will be protected and enhanced to create a better place for all Inverclyde residents and an attractive place in which to live, work and visit.



View from Lyle Hill, Greenock

# SUSTAINABLE DEVELOPMENT STRATEGY

# CREATING SUCCESSFUL PLACES

## Introduction

**3.1** Inverclyde has many distinctive and unique places. Examples include the Free French Memorial and Lyle Hill, which offer panoramic views over the Firth of Clyde; Quarriers Village, built in the 19th century as an orphans' village and filled with individually designed homes of that period; the A-listed Edwardian Wemyss Bay railway station; and the grid-pattern Greenock West End conservation area, which is contained to the north by the popular Greenock Esplanade. These, and other places, have stood the test of time and remain places where people want to live and visit.

**3.2** The Council is keen to have more successful places in Inverclyde, and all new development will be expected to contribute to creating successful places. This is particularly important in relation to the Plan's Priority Projects and Priority Places, which reflect major Council investments and the larger scale regeneration opportunities in Inverclyde.

## Creating Successful Places

**3.3** The Council is keen that all development contributes to making Inverclyde a better place to live, work, study, visit and invest. To differing degrees, all scales and types of development have the potential to make an impact on the surrounding environment and community. It is important to the Council that this impact is a positive one. To this end, the Council will have regard to the six qualities of a successful place when considering all development proposals.

**Distinctive**

**Resource Efficient**

**Safe and Pleasant**

**Adaptable**

**Easy to Move Around**

**Welcoming**

**3.4** **Figure 2** illustrates the factors that contribute to the six qualities of a successful place. Not all will be relevant to every development proposal and planning application, but where they are, the Council will expect development proposals to have taken account of them, and it will have regard to them in the assessment of planning applications.

**3.5** The Strategic Environmental Assessment Environmental Report, which accompanies the Plan, sets out mitigation and enhancement measures, which would make the environmental impact of development of the sites identified in the Plan more sustainable, thus contributing to the creation of successful places.

## POLICY 1 - CREATING SUCCESSFUL PLACES

Inverclyde Council requires all development to have regard to the six qualities of successful places. In preparing and assessing development proposals, consideration must be given to the factors set out in Figure 2 and demonstrated in a design-led approach. Where relevant, applications will also be assessed against the Planning Application Advice Notes and Design Guidance for New Residential Development Supplementary Guidance. When assessing proposals for the development opportunities identified by this Plan, regard will also be had to the mitigation and enhancement measures set out in the Strategic Environmental Assessment Environmental Report.



**FIGURE 2: Factors Contributing to Successful Places**





## Priority Projects

**3.6** Over the lifetime of this Plan, the Council expects to be a leading or major partner in priority projects that have land use implications. Collectively, these projects mark a major investment in the economy, infrastructure, housing and communities of Inverclyde. This Plan offers in-principle support to the delivery of these projects, which are detailed below.

### Glasgow City-Region City Deal

**3.7** Inverclyde is one of 8 local authorities participating in the Glasgow City-Region City Deal project. The City Deal aims to fund major infrastructure projects; create thousands of new jobs and assist thousands of unemployed people back to work; improve public transport and connectivity; drive business innovation and growth; and generate billions of pounds of private sector investment. In Inverclyde, this investment will focus on:

- **Greenock Ocean Terminal** - this project will expand the quayside and deliver a new visitor centre in order to increase capacity for cruise ship visits and freight handling. It is anticipated that it will enable 100 cruise ships to visit Inverclyde each year, bringing 150,000 visitors to central Scotland.
- **Inverkip Infrastructure** - this project addresses the restricted network and junction capacity on the A78 trunk road at four locations in and around Inverkip. The project will release investment and enable the development of a major 20 hectare brownfield site around the former Inverkip Power Station, creating potential for in excess of 600 houses and up to 6,000 square metres of community and commercial space.
- **Inchgreen, Greenock** - this project will redevelop a brownfield site and develop underutilised quay assets to offer a dedicated on-shore marine hub, complimentary to the marine activities at the Inchgreen dry dock.

### Affordable Housing Supply Programme

**3.8** The Council's housing association partners are delivering an ambitious programme of new quality affordable homes as part of the Scottish Government's More Homes Scotland programme.

## Early Learning and Childcare

**3.9** The Council is continuing to implement proposals to deliver the 1140 hour entitlement to early learning and childcare. The expansion has required substantial levels of investment in workforce and infrastructure to ensure that the required capacity is in place. This has involved the development of new and expanded early years' facilities in locations across Inverclyde.

### Inverclyde Cemetery Capacity

**3.10** The Council is currently investigating potential locations for the provision of additional cemetery capacity within Inverclyde, with the identification and development of capacity required during the lifetime of this Plan. Investigations are currently focused on options for expanding cemetery capacity at the existing Knocknairhill and Kilmacolm cemeteries.

### Inverclyde Green Connections – Linking People and Place

**3.11** The Council, in partnership with a number of other organisations and groups is developing an Inverclyde Green Connections programme, which aims to improve connections between neighbourhoods and deliver green network and placemaking improvements within the Greenock and Port Glasgow areas. The programme seeks to build on several projects set out in existing area renewal and green network strategies and the Active Travel Strategy.

## POLICY 2 - PRIORITY PROJECTS

**The Council will support, in principle, development proposals associated with the Priority Projects listed in Schedule 1**

## SCHEDULE 1: Inverclyde Local Development Plan Priority Projects

### Glasgow City-Region City Deal

- Greenock Ocean Terminal
- Inverkip Infrastructure
- Inchgreen, Greenock

### Affordable Housing Supply Programme

### Early Learning and Childcare

### Inverclyde Cemetery Capacity

### Inverclyde Green Connections

## Priority Places

**3.12** This Plan identifies several larger scale development opportunities with the potential to have a transformational impact on their surrounding area, and in some cases Inverclyde as a whole. Owing to their size and complexity, these sites are long term development opportunities and have been designated as Priority Places due to the importance that the Council places on delivering development on the sites and its desire to see the creation of quality places. Schedule 3 lists the Priority Places and their preferred uses, and Policy 3 supports their comprehensive development, in line with the identified uses. Policy 3 is supported by Supplementary Guidance, which sets out the development frameworks for these sites.

## POLICY 3 - PRIORITY PLACES

The Council will support redevelopment proposals for the Priority Places where these are in line with the preferred strategy set out in Schedule 2 and the development frameworks set out in the Priority Places Supplementary Guidance.

## SCHEDULE 2 – Inverclyde Local Development Plan Priority Places

### Priority Place

### Preferred Strategy

#### The Harbours, Greenock

Mixed use development including housing, education, tourism and heritage, shops, food and drink, public house, financial and professional services, and marine-related business and industrial uses. Development proposals to comply with refreshed masterplan for the site.

#### James Watt Dock/Garvel Island, Greenock

Mixed use development including housing, business, assembly and leisure, hotel and hostels, residential institutions, non-residential institutions, marine-related business and industrial uses, and ancillary retail and food and drink. Development proposals to comply with refreshed masterplan for the site, which is to enhance support/protection for marine-related businesses.

#### Former Inverkip Power Station

Mixed use development including housing, community facilities, leisure, hotel, food and drink, public house, neighbourhood retail, financial and professional services, and business uses, and green infrastructure. Development proposals are to address the full site.

#### Peat Road/Hole Farm, Greenock

Housing with community facilities, neighbourhood retail, and green network enhancements. Whole site masterplan required.

#### Spango Valley, Greenock

Mixed use development including business, industrial, storage or distribution (collectively to form no less than 35% of developable area), housing (to form no more than 50% of developable area), residential institutions, non-residential institutions, neighbourhood retail, neighbourhood food and drink, appropriate leisure and recreation, green infrastructure, park and ride, and appropriate renewable energy uses.

(continued on next page)

	Development proposals are to address the full site, with the exception of former Greenock High School site which is identified for prison use.
<b>Drumfrochar Road, Greenock</b>	Housing and industrial development.
<b>Port Glasgow Eastern Gateway</b>	Mixed use development including housing, business and industrial uses, active travel improvements, public realm and green network enhancements.
<b>Port Glasgow Industrial Estate</b>	Consolidation of industrial area, housing development and green network enhancement in line with comprehensive masterplan.
<i>Town centre uses (Schedule 6) are required to comply with the Network of Centres strategy (Policy 22).</i>	

## TACKLING CLIMATE CHANGE

**4.1** Since Inverclyde Council signed up to Scotland's Climate Change Declaration in 2007, in the period to 2020 it has made a 25.25% reduction in the amount of greenhouse gases emitted by its buildings and operations. Local residents, businesses and organisations have also made efforts to reduce carbon emissions through, for instance, installing insulation and solar panels and by being more energy efficient.

**4.2** In April 2019, the Scottish Government declared a 'climate emergency'. In response to this, and building on progress made so far, the Scottish Government has set an ambitious target to achieve 'net zero' greenhouse gas emissions including:

- 75% reduction in greenhouse gas emissions by 2030 from a 1990 baseline
- net-zero emissions by 2045 from a 1990 baseline
- at least 50% of building stock to be heated using zero emissions system by 2030
- renewable energy generation to account for the equivalent of 50% of its energy demand by 2030

**4.3** These targets require the Council to continue, through its own actions

and its planning policy agenda, to pursue the further reduction of greenhouse gases. The Plan seeks to help achieve this through delivering sustainable development in sustainable locations, supporting the generation of heat and electricity from sustainable sources, sustainable waste management and promoting sustainable travel.

**4.4** Flooding is predicted to be the most likely impact of climate change on Inverclyde. Although the area has a history of flooding, climate change is predicted to increase the frequency and intensity, owing to sea level rises and more severe weather events.

### Supplying Energy

**4.5** In 2018, 62.5% of greenhouse gas emissions in Inverclyde were estimated to be associated with the generation of heat and electricity. Encouraging generation from low-carbon and renewable sources can have a significant impact on meeting carbon reduction targets. Consequently, the Council supports, in principle, heat and electricity infrastructure that will help reduce greenhouse gases, subject to consideration of the impact of the proposed development.

**4.6** Wind turbines are a means of generating electricity from a renewable resource. The Council's Supplementary Guidance on Energy sets out a spatial framework and other criteria to guide and assess proposals for wind turbines and wind farms, as well as guidance for other renewable energy technologies.



Lighthouse off Port Glasgow

## POLICY 4 - SUPPLYING ENERGY

Proposals for infrastructure for the generation, storage or distribution of heat and electricity will be supported in principle where they contribute to a reduction in greenhouse gas production. Proposals will be assessed with regard to impact, including cumulative impact on:

- a) the resources protected by the Plan's historic buildings and places and natural and open spaces chapters;
- b) the amenity and operations of existing and adjacent uses;
- c) tourism and recreational resources;
- d) air quality;
- e) aviation and defence interests;
- f) telecommunication and broadcasting interests; and
- g) traffic and pedestrian safety

Where relevant, proposals are to be accompanied with restoration plans acceptable to the Council.

Relevant proposals are required to accord with the Council's Supplementary Guidance on Energy.

### Heat Networks

**4.7** Heat networks offer the opportunity for a more efficient and sustainable means of generating and delivering heat by removing the generation of heat from within individual properties to a communal facility. Heat networks, which are also referred to as district heating, are part of the step-change required towards a more sustainable future and less reliance on gas, and other carbon fuels, as a heat source.

## POLICY 5 - HEAT NETWORKS

Major Developments will be required to meet heat demand through a district heating network or other low-carbon alternative, unless the application is accompanied by an energy statement clearly demonstrating that this is not feasible. All proposed developments located adjacent to significant heat sources or proposed/existing heat networks should be designed in such a way as to be capable of connecting to a heat network from that source and any land required for heat network infrastructure should be protected.

### Low and Zero Carbon Generating Technology

**4.8** The Plan is obliged by the Climate Change (Scotland) Act 2009 to include a policy requiring all new buildings to avoid greenhouse gas emissions through the installation of low and zero carbon generating technologies.

## POLICY 6 - LOW AND ZERO CARBON GENERATING TECHNOLOGY

Support will be given to all new buildings designed to ensure that at least 20% of the carbon dioxide emissions reduction standard set by Scottish Building Standards is met through the installation and operation of low and zero carbon generating technologies. This percentage will increase to at least 25% by the end of 2025. Other solutions will be considered where:

- a) it can be demonstrated that there are significant technical constraints to using on-site low and zero-carbon generating technologies; and
- b) there is likely to be an adverse impact on the historic or natural environment.

\* This requirement will not apply to those exceptions set out in Standard 6.1 of the 2017 Domestic and Non-Domestic Technical Handbooks associated with the Building (Scotland) Regulations 2004, or to equivalent exceptions set out in later versions of the handbook.

### Waste Reduction and Management

**4.9** Inverclyde is well served in terms of waste services, particularly recycling. Kerbside recycling services are available to most households, and there are 36 neighbourhood recycling points and 2 larger recycling centres at Pottery Street, Greenock and Kirn Drive, Gourrock.

**4.10** The Scottish Government's Zero Waste Plan sets out a hierarchy for managing waste, in the order of waste reduction, reuse, recycling and recovery, along with a number of targets, including that for all waste by 2025 70% will be recycled and a maximum of 5% will be landfilled. In 2019/20, Inverclyde recycled 54% of household waste.

**4.11** No major planning applications for waste management infrastructure are anticipated over the lifetime of this Plan. Proposals for smaller and local facilities, which contribute to waste reduction and management, will be supported in principle, subject to consideration of their impacts and acceptable

site restoration, where applicable. Sustainable management of waste is also promoted by making the separation, storage and collection of waste as easy as possible and encouraging opportunities for integrating efficient energy and waste innovations within business environments.

and economic well-being.

**4.13** While mitigation measures such as the use of renewable energy and energy efficiency can, and have stabilised and reduced levels of greenhouse gas emissions in Scotland, climate change adaptation is required to prepare for the negative effects of climate change and be in a position to take advantage of any opportunities.

**4.14** Inverclyde Council's Climate Change Plan (2018) sets the objectives examining the likely impacts of climate change on the Council's operations and the Inverclyde area, and the consideration of climate change adaptation projects and initiatives in addition to flooding related projects already planned. In support of this, and as an escalation of commitment to adapting to climate change, the Council is a member of Climate Ready Clyde, a cross-sector initiative which brings partners together to work strategically to minimise risks from climate change and take advantage of the opportunities climate change creates in the Glasgow City Region. Climate Ready Clyde has developed an Adaptation Strategy and Action Plan for Glasgow City Region.

## POLICY 7 - WASTE REDUCTION AND MANAGEMENT

Proposals for waste management facilities will be supported where they:

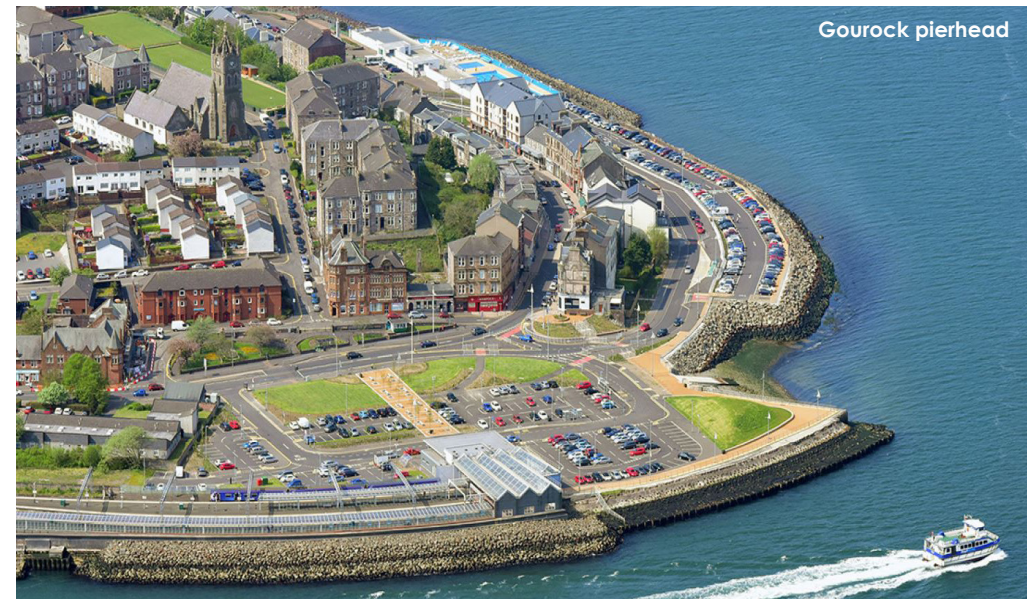
- a) support the national Zero Waste Plan and promote the waste hierarchy;
- b) enable the management of waste closer to where it arises;
- c) avoid significant adverse impact on the amenity and operations of existing and adjacent uses and the road network; and
- d) avoid significant adverse impact on the resources protected by the Plan's historic buildings and places and natural and open spaces chapters.

Where necessary, proposals should demonstrate how any site affected by the proposal will be fully restored through an appropriate aftercare programme and a financial guarantee to ensure its implementation.

Where applicable, the design and layout of new development must enable the separation, storage and collection of waste in a manner that promotes the waste hierarchy. Opportunities for integrating efficient energy and waste innovations within business environments will be encouraged.

## Climate Change Adaptation

**4.12** Climate change is a key issue for all levels of government. There is clear evidence of global temperature rises with the impacts of this for Scotland predicted to be increases in temperatures, including extreme heat, rising sea levels and extreme weather events. Inverclyde as a coastal authority with a steep sloping hinterland is particularly vulnerable to the impact of these changes. Flooding could have a severe negative impact on buildings, infrastructure and the landscape, while extreme weather events could affect energy, water, transport and communication networks, natural habitats and wildlife, and have implications for the delivery of Council services and social



**4.15** Whilst there is a major task involved in adapting existing infrastructure, buildings and spaces for climate change, it is important that new development is already adapted, or adaptable for climate change. Addressing adaptation at the outset of a development project is easier and more economical than retrofitting solutions. To initiate this process, the Council will begin to seek climate risk and vulnerability assessments to be submitted with relevant proposals (initially for Major Development proposals). Information on what proposals this will be applicable to and the required content of the assessment will be set out in planning guidance.

## **POLICY 8 - CLIMATE CHANGE ADAPTATION**

**Where required by planning guidance, Major Developments are to be accompanied by a Climate Risk and Vulnerability Assessment.**

### **Managing Flood Risk**

**4.16** Flooding can affect local communities by damaging properties, disrupting transport networks and putting public safety at risk. Inverclyde's waterfront location makes the area susceptible to coastal flooding, whilst the topography means that surface water flowing down the hillsides can combine with local burns to cause flooding events. During high tides or in stormy conditions, river and surface water flooding can also combine with coastal flooding to increase the impacts of flooding events.

**4.17** With climate change predicted to raise sea levels and increase the frequency of heavy rain and extreme weather events, it is likely that the risk of river, coastal and surface water flooding will increase.

**4.18** The Local Flood Risk Management Plan for the Clyde and Loch Lomond Local Plan District for 2016-2022 sets out the schemes required in Inverclyde to reduce and manage flood risk. It includes schemes on Coves Burn in Gourrock, Bouverie Burn in Port Glasgow, Cartsburn in Greenock, Gotter Water in Quarrier's Village and Glen Mosston Burn in Kilmacolm, and other measures including the development of a surface water management plan and raising awareness of flood risk. These schemes will be completed by 2022 apart from Coves Burn that did not meet the cost benefit analysis. An integrated catchment study of areas in Inverclyde has been completed as part of the Plan. This highlights areas of flood risk and areas that will be prioritised in future Local Flood Risk Management Plans.

**4.19** The Council's 'Flood Risk Assessment and Drainage Impact Assessment – Planning Guidance for Developers', sets out when Flood Risk Assessments will be required and what issues they require to cover.

## **POLICY 9 - MANAGING FLOOD RISK**

**Development proposals will be assessed against the Flood Risk Framework set out in Scottish Planning Policy. Proposals must demonstrate that they will not:**

- a) be at significant risk of flooding (i.e. within the 1 in 200 year design envelope);
- b) increase the level of flood risk elsewhere; and
- c) reduce the water conveyance and storage capacity of a functional flood plain.

**The Council will support, in principle, the flood risk management schemes set out in the Clyde and Loch Lomond Local Flood Risk Management Plan 2016, subject to assessment of the impacts on the amenity and operations of existing and adjacent uses, the resources protected by the Plans historic buildings and places and natural and open spaces chapters, and the transport network. Where practical and effective, nature-based solutions to flood management will be preferred.**

### **Surface and Waste Water Drainage**

**4.20** Surface water is a significant cause of flooding in Inverclyde, and can also impact on water quality by carrying pollutants into local burns and rivers. For sustainability and to prevent sewer flooding, Scottish Water will not normally accept any surface water connections into its combined sewer system. Many new developments now require to include Sustainable Drainage Systems (SuDS). These systems can also provide an opportunity for enhancing local biodiversity by creating ponds and wetlands, which slow water flow and filter out pollutants. It is also important that waste water (effluent) from new development is appropriately drained and treated in order to protect public health, amenity and environmental resources. In the majority of cases new development will be required to connect to the public sewer.

**4.21** The Council's 'Flood Risk Assessment and Drainage Impact Assessment – Planning Guidance for Developers', sets out when Drainage Impact Assessments will be required and the issues they require to cover.

## **POLICY 10 - SURFACE AND WASTE WATER DRAINAGE**

New build development proposals which require surface water to be drained should demonstrate that this will be achieved during construction and once completed through a Sustainable Drainage System (SuDS), unless the proposal is for a single dwelling or the discharge is directly to coastal waters.

The provision of SuDS should be compliant with the principles set out in the SuDS Manual C753 and Sewers for Scotland 4th edition, or any successor documents.

Where waste water drainage is required, it must be demonstrated that the development can connect to the existing public sewerage system. Where a public connection is not feasible at present, a temporary waste water drainage system can be supported if:

- a) a public connection will be available in future, either through committed sewerage infrastructure or pro-rata developer contributions; and
- b) the design of, and maintenance arrangements for, the temporary system meet the requirements of SEPA, Scottish Water and Inverclyde Council, as appropriate.

Private sustainable sewerage systems within the countryside can be supported if it is demonstrated that they pose no amenity, health or environmental risks, either individually or cumulatively.

Developments including SuDS are required to have an acceptable maintenance plan in place, which identifies who will be responsible for maintenance and how this will be funded in the long term.



Fergusons shipyard and Gourrock Ropeworks, Port Glasgow

# CONNECTING PEOPLE AND PLACES

## Introduction

**5.1** Inverclyde has excellent transport connections with the A8 and A78 trunk roads running through the area, and it has two train lines with thirteen stations, all of which connect Inverclyde with the rest of the Glasgow City Region and beyond. A number of bus companies also operate across Inverclyde, while four ferry services provide connections to various locations in Argyll and Bute. Inverclyde is also connected by a comprehensive core path network and National Cycle Network routes NCN75 and NCN753, which provide active travel connections to Renfrewshire, Glasgow and Ayrshire.

**5.2** Transport is critical to the prosperity and sustainability of our communities. Economic activity and growth relies on a transport network that enables people and goods to move efficiently around Inverclyde, Scotland and to international markets. Also important is the need to tackle climate change by cutting transport emissions, which requires an approach that reduces the need to travel by unsustainable modes such as the car and prioritises sustainable travel choices.

**5.3** Planning can improve connectivity and promote sustainable travel by locating new development near active travel and public transport networks, thereby giving people the choice of walking, cycling or using public transport. It is also important to identify where additional transport infrastructure and services are needed to support new development and ensure that developers contribute toward its provision. Supporting new transport technologies, including the provision of charging points for electric vehicles, will also help reduce carbon emissions.

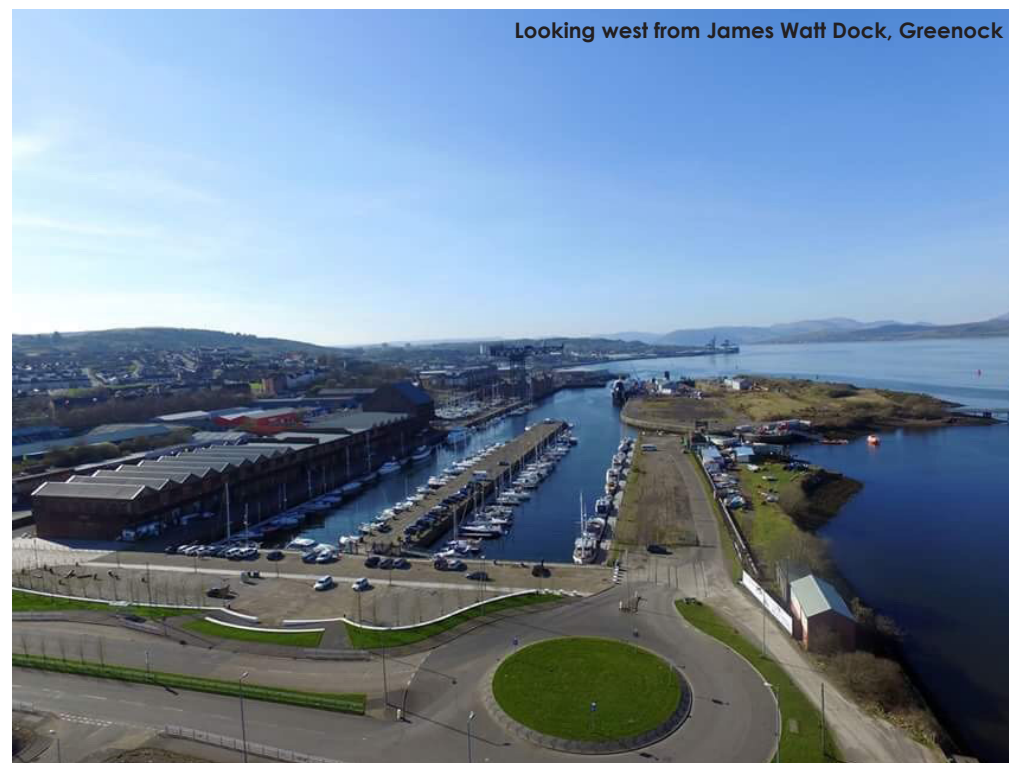
**5.4** Good digital connectivity allows businesses to reach their markets, and people to keep in touch and work flexibly, wherever they are.

## Promoting Sustainable and Active Travel

**5.5** The Council aims to ensure that new housing, business and industry, retail, and other commercial and community development promotes the vision, priorities and outcomes set out within the National Transport Strategy (NTS2), including the sustainable travel hierarchy: walking, cycling, public transport and cars. It will seek to achieve this through a spatial strategy that directs the majority of development to sustainable locations and requires proposals, proportionate to their scale and proposed use, to make new development accessible by walking and cycling, both internally and, where practicable,

through links to the external path and footway network. For larger sites, where sufficient passenger numbers might be generated, the road network will be required to be accessible by public transport, although it is recognised that the provision of services will be a commercial decision for operators, with funding support occasionally available. The installation of electric vehicle charging infrastructure is a requirement in new developments, as set out in the Energy Supplementary Guidance.

**5.6** At the Main Issues Report stage, suggestions of improvements to transport infrastructure were received including the need for additional car parking in Kilmacolm village centre. Future developments of the transport network are to be investigated and included if required in the Local Transport Strategy. The Active Travel Strategy (2018) established preferred improvements to Inverclyde's active travel routes. These strategies will identify improvements to the transport network in order to make it more efficient and promote sustainable travel. Included projects will be supported in principle, subject to consideration and mitigation of the impact of the schemes on the development opportunities and places protected by this Plan.



Looking west from James Watt Dock, Greenock



## POLICY 11 - PROMOTING SUSTAINABLE AND ACTIVE TRAVEL

Development proposals, proportionate to their scale and proposed use, are required to:

- a) provide safe and convenient opportunities for walking and cycling access within the site and, where practicable, links to the wider walking, cycling network and public transport network; and
- b) include electric vehicle charging infrastructure, having regard to the Energy Supplementary Guidance.

Proposals for development, which the Council considers will generate significant travel demand, are required to be accompanied by a travel plan demonstrating how travel to and from the site by means other than private car will be achieved and encouraged. Such development should also demonstrate that it can be accessed by public transport.

The Council will support the implementation of transport and active travel schemes as set out in national, regional and Council-approved strategies, subject to adequate mitigation of the impact of the scheme on: development opportunities; the amenity and operations of existing and adjacent uses; and the resources protected by the Plan's historic buildings and places and natural and open spaces chapters.

### Managing the Impact of Development on the Transport Network

**5.7** Development proposals should not have an adverse impact on the efficient operation of the transport and active travel network. In order to identify any potential capacity issues on the strategic road network (i.e. A8 & A78), the Council consulted Transport Scotland on the development opportunities identified in the Plan. Transport Scotland indicated that it is not considered there will be a significant cumulative impact on the trunk road network as a result of new development, but that the potential impact of individual proposals on the trunk road network may still require to be considered, and where appropriate, mitigated.

**5.8** To ensure that the road network continues to operate efficiently, the Council has standards in place for road development and parking, which new development is expected to comply with. This may require additional improvements to the transport network outwith the actual development site.

Where this is the case, developers will be required to meet these costs.

## POLICY 12 - MANAGING IMPACT OF DEVELOPMENT ON THE TRANSPORT NETWORK

Development proposals should not have an adverse impact on the efficient operation of the transport and active travel network. Development should comply with the Council's roads development guidelines and parking standards, including cycle parking standards. Developers are required to provide or financially contribute to improvements to the transport network that are necessary as a result of the proposed development.



## **Air quality**

**5.9** The Council carries out regular air quality monitoring at 17 sites across Inverclyde. As at 2021, Inverclyde does not have any Air Quality Management Areas. The Council is currently working with Strathclyde Partnership for Transport (SPT) to reduce emissions from road traffic and support the development of projects that improve traffic management and accessibility.

**5.10** Some developments can directly affect air quality or change travel patterns in such a way that air quality is affected. In these instances the Council will expect an Air Quality Assessment to be undertaken and mitigation measures to be implemented.

### **POLICY 13 - AIR QUALITY**

**Development that could have a detrimental impact on air quality, or would introduce a sensitive receptor to an area with poor air quality, will be required to be accompanied by an Air Quality Assessment, which identifies the likely impacts and sets out how these will be mitigated to an acceptable level.**

## **Communications Infrastructure**

**5.11** Inverclyde has good digital connectivity, with 4G mobile and superfast broadband coverage available across the majority of the area. This is of benefit to the economy and social networks and contributes towards it being an attractive place to live and invest.

### **POLICY 14 - COMMUNICATIONS INFRASTRUCTURE**

**The Council will support new digital communication infrastructure where it is sited to avoid adverse impact on: the streetscape; the amenity and operations of existing and adjacent uses; and the resources protected by the Plan's historic buildings and places, and natural and open spaces chapters.**

## **SPATIAL DEVELOPMENT STRATEGY**

# OUR TOWNS, VILLAGES AND COUNTRYSIDE

## Introduction

**6.1** Inverclyde's mix of densely populated urban areas, coastal and rural villages, and isolated countryside over a relatively small area of 62 square miles is unique to the west of Scotland.

**6.2** Greenock is the largest town with an estimated population of approximately 43,000 (2016). It is Inverclyde's main administrative centre, with the Council and the Health and Social Care Partnership based in the town centre, along with West College Scotland's Greenock campus and is also the main retail and commercial centre. It has an active waterfront, with marine uses operating out of Inchgreen, James Watt Dock, the East India and Victoria Harbours, and a busy freight and cruise ship port at Greenock Ocean Terminal. Electronic and service companies operate from business locations around the town. Complementing the residential and business areas of Greenock are some of Inverclyde's most popular greenspaces such as Battery Park, Lyle Hill and Greenock Cemetery.

**6.3** Port Glasgow is the second largest town with an estimated population of approximately 15,000 (2016). The central area has seen significant investment in recent years through the redevelopment of the former Scott Lithgow shipyard and the re-routing of the A8 trunk road, which together have enabled the development of modern format retail units as part of an extended town centre and the development of over 400 new houses in the former Kingston yard area. Ferguson Marine continues a proud history of shipbuilding in Port Glasgow, with Port Glasgow Industrial Estate and the Kelburn Business Park being the town's other main employment locations.

**6.4** Gourock has an estimated population of approximately 10,000 (2016). The town centre has been remodelled to ease traffic and parking congestion on the traditional-style Kempock Street, which is home to a number of independent traders and draws in visitors from across Inverclyde and beyond. The town centre has also benefitted from investment in the train station and outdoor swimming pool. Gourock has two ferry terminals providing links to different locations in Argyll. Outwith the town centre, it is predominantly residential, with the Faulds Park area being the main employment location.

**6.5** Inverkip has a traditional village centre based along Main Street with a new commercial and community centre built at its eastern extent. The village has an estimated population of approximately 3000 (2016) having expanded significantly since the 1980s as a result of the Swallow Brae and Hill Farm housing

developments. Kip Marina, which sits across the A78 from the main village, is a busy leisure marina, offering access to the Firth of Clyde sailing waters.

**6.6** Wemyss Bay, with a population of around 2500 (2016), has one of Scotland's finest railway buildings, which serves as both the terminus for the Glasgow-Wemyss Bay railway line and the terminal for ferry services to the Isle of Bute. The village has a mix of traditional predominantly red sandstone buildings and more modern housing in the Castle Wemyss area. To the north of Wemyss Bay lies the site of the former Inverkip Power Station, now demolished.

**6.7** Kilmacolm, which has a population of approximately 4000 (2016), is nestled in the countryside but within commuting distance of Inverclyde's towns and the Glasgow conurbation. Its Victorian centre is home to a variety of independent businesses and to Kilmacolm community centre and library, which provides modern facilities in carefully converted historic buildings. Kilmacolm is characterised by green wedges, such as Milton Wood, which bring the countryside into the heart of the village. St Columba's, an independent, non-denominational day school, is located within Kilmacolm.

**6.8** Quarrier's Village was developed as an orphans' village in the 19th century and is still the headquarters of the Quarriers charity, although much of it is now in general residential use. The original 'Quarrier's Homes' are now part of a conservation area, while there has been some modern development, including around the former Bridge of Weir hospital, which sits to the east of the main village. Quarrier's Village has an estimated population of 700 (2016).

**6.9** Inverclyde's countryside ranges from urban fringe land providing easy access to the countryside, through highly productive agricultural land to isolated and rarely disturbed moorland. It is dotted by reservoirs and lochs, and crisscrossed by burns and rivers. There is an extensive path network, and much of the Inverclyde countryside is part of the Clyde Muirshiel Regional Park, making it an excellent recreational resource. Although mainly covering upland areas, the Park extends to the coast at Lunderston Bay, which is a popular beach area.

**6.10** The Council's preferred location for new development is within the existing towns and villages, particularly where this re-uses previously developed land.

## Green Belt and Countryside

**6.11** The pattern of development within Inverclyde has been very much shaped by its geography, with a densely developed coastal strip giving way to a sparsely developed rural hinterland. This has been reinforced through the years by a planning strategy that has sought to contain development within the built up area and minimise development in the Green Belt and Countryside. The benefits of this strategy have been a focus on the regeneration and renewal of the urban areas, the placing of development into sustainable locations close to existing services and infrastructure, and the protection of our rural environment. This has been achieved through policies which direct development to existing towns and villages, and restrict development in the Green Belt and Countryside to appropriate types and locations. This approach is supported by national policy and Clydeplan and remains appropriate. Proposals for the development of small scale residential development (1-3 houses) will also be assessed against Policy 20.

### POLICY 15 - GREEN BELT AND THE COUNTRYSIDE

Development in the Green Belt and Countryside will only be permitted if it is appropriately designed, located, and landscaped, and is associated with:

- a) agriculture, horticulture, woodland or forestry;
- b) a tourism or recreational use that requires a countryside location;
- c) infrastructure with a specific locational need;
- d) the appropriate re-use of a redundant stone or brick building, the retention of which is desirable for its historic interest or architectural character, subject to that interest or character being retained; or
- e) intensification (including extensions and outbuildings) within the curtilage of an existing use, which is of an appropriate scale and form.

Proposals associated with the uses set out in criteria a)-c) must provide justification as to why the development is required at the proposed location. Proposals in the green belt must not undermine the objectives of the green belt as set out in Scottish Planning Policy and the Clydeplan Strategic Development Plan. Non-conforming uses will only be considered favourably in exceptional or mitigating circumstances.

## Soils

**6.12** Inverclyde has a rich variety of soil types, ranging from prime/good quality agricultural land around Quarriers Village and Inverkip to carbon rich peatland on Duchal Moor. Soil is recognised as an important natural resource, with agricultural land important for food production and the rural economy. It also supports and influences a range of habitats, stores carbon, and helps prevent and reduce flooding by storing water.

### POLICY 16 - SOILS

Development on prime agricultural land will only be supported if:

- a) it is on land allocated for development in this Local Development Plan or meets a need identified in the Strategic Development Plan;
- b) there is a specific locational need for the development;
- c) it is for small scale development directly linked to a rural business; or
- d) it is for renewable energy generation or mineral extraction, and the proposals include provision for the site to be returned to its former status.

Development should avoid the unnecessary disturbance of peat and carbon-rich soils. Best practice must be adopted in the movement, storage, management and reinstatement of peat and carbon-rich soils.

Where peat and carbon rich soils are present on an application site, a depth survey must be undertaken which demonstrates that areas of deep peat have been avoided as far as is possible. A peat management plan must also be produced, detailing mitigation measures which demonstrate that the unnecessary disturbance, degradation or erosion of peat will be avoided. It will also need to be demonstrated that adverse impacts on the soil resource during the construction and operational phases of a development will be minimised and the development will not result in a net increase in CO2 emissions over its lifetime.

## Brownfield Land

**6.13** Inverclyde has a significant supply of brownfield land within the urban area, including 155.27ha of vacant and derelict land, with 61% identified as vacant and 39% derelict. The vacant and derelict land supply, and the supply of brownfield land more broadly, is mainly comprised of former industrial sites and social housing sites that have been demolished as part of an ongoing renewal program, with a number of the larger sites being vacant or derelict for over 20 years.

**6.14** In line with Scottish Planning Policy, the Clydeplan Strategic Development Plan and the Inverclyde Outcome Improvement Plan, the Local Development Plan prioritises brownfield redevelopment as it contributes to the regeneration of our local areas, improves environmental quality, is an efficient use of land, provides an opportunity to remediate contaminated sites, and is often located in close proximity to key infrastructure networks.

**6.15** The Council is particularly keen to support brownfield redevelopment as recent research has shown that vacant and derelict land in particular has a significant negative effect on local communities, economic development and environmental quality. For example, proximity to vacant and derelict land can adversely affect people's physical and mental health and community wellbeing, with increased effects in areas of higher deprivation. It has also been shown that proximity to vacant and derelict land negatively impacts developer perceptions and confidence, which has knock on effects for economic development.

**6.16** The Council actively encourages and will support appropriate temporary greening uses on brownfield land. A range of uses will be considered, including but not limited to biodiversity projects, growing spaces, community gardens and recreation resources. The Council will also support advanced structure planting to create a landscape framework for future development.

**6.17** Inverclyde has a proud tradition of industrial activity, stretching from its heavy industrial past of shipbuilding to the more recent manufacturing of electronic equipment and components. Many of these industries developed at a time when environmental standards were not as stringent as they are now, and this has resulted in a number of sites across Inverclyde that are potentially contaminated. When a new use is proposed for a site it is essential that any contamination is treated to ensure that the new use can operate safely. Guidance on site investigations and remediation measures is contained in the Scottish Government's Planning Advice Note 33 'Development of contaminated land'.

## POLICY 17 - BROWNFIELD DEVELOPMENT

The Council offers in principle support for proposals to bring brownfield sites in the urban area into beneficial use.

Proposals for the temporary greening of brownfield sites will be supported where it is demonstrated that they will deliver a positive impact to the local environment and overall amenity of the area. For sites identified for development in this Plan, temporary greening projects should not prejudice the future development of the site.

Proposals for advanced structure planting to create a landscape framework for future development on sites identified in the Plan will be supported.

Development proposed on land that the Council considers to be potentially contaminated will only be supported where a survey has identified the nature and extent of any contamination present on site and set out a programme of remediation or mitigation measures that are acceptable to the Council and ensure that the site can be made suitable for the proposed use.



# OUR HOMES AND COMMUNITIES

## Introduction

**7.1** Repopulation is a priority of the Inverclyde Outcomes Improvement Plan. Whilst the reasons for population changes are varied and complex, the availability of good quality housing in places where people want to live is a significant factor. Inverclyde offers a wide range of housing including Victorian villas, marina-side living, waterfront flats and historic building conversions. New build homes for owner occupation provide additional choice for existing and new residents, and housing associations continue to make significant investment in building new houses and investing in existing stock. Whilst there has been demolition of unpopular housing, areas of low-demand housing remain, which the Council and housing associations are continuing to address. The Council is committed to ensuring that the housing available within Inverclyde meets the needs of existing and new residents, and through this Plan will make sufficient land available to meet housing need and demand, and protect and improve the attractiveness of existing residential areas.

## Land for Housing

**7.2** The 2017 Clydeplan Strategic Development Plan establishes the housing supply target and housing land requirement for the Inverclyde area for the periods 2012 to 2024 and 2024 to 2029. The housing supply target is a policy view of the number of homes a planning authority has agreed will be delivered in housing market areas taking into account a range of factors. The housing land requirement, is based on the housing supply target, but enhanced by a generosity allowance (15%) to ensure that sufficient land is identified to enable the housing supply target to be delivered. A housing supply target and housing land requirement is set for different tenures (affordable and private housing) and market areas (Inverclyde and Renfrewshire, which includes part of Inverclyde), as well as the Council area as a whole. The Inverclyde housing market area for private housing sits wholly within the Inverclyde local authority area and contains the main urban area of Greenock, Port Glasgow and Gourock, as well as Inverkip and Wemyss Bay. The Renfrewshire housing sub market area for private housing contains Kilmacolm and Quarrier's Village, the Renfrewshire local authority area, and part of East Renfrewshire.

**7.3** As the expected adoption date of this Plan is 2022 and Scottish Planning Policy states that local development plans should allocate land to meet the housing land requirement up to 10 years from the date of adoption, this plan also has to set the housing land requirement to 2032. For the 2029 to 2032 period, the plan sets a zero housing land requirement. This is owing to the generosity

and ambition of the housing land requirement to 2029 meaning that it is not considered necessary for this Plan to identify additional land for the 2029-2032 period. This position will be reviewed in future plans.

**7.4** As there have already been housing completions between 2012, which is the base year of the housing land requirement, and 2019, which is the date of the most recent finalised housing land audit, Table 1 sets out the balance of the housing land requirement that remains to be met after these completions are taken into account. This is established for the Council area as a whole for affordable and private housing and for the different housing market areas for private sector housing (**Table 1**).

**TABLE 1: Housing Land Requirement in Inverclyde**

	Inverclyde Local Authority Area			Inverclyde Housing Market Area	Renfrewshire Housing Sub Market Area	Renfrewshire Housing Sub Market Area (Inverclyde part)	
	Affordable	Private	All Tenure	Private	Private	Private	
A	Housing Land Requirement 2012-24	1,270	2,360	3,630	2,220	8,160	140
B	Completions 2012-2019	441	604	1,045	601	3,872	3
C	Balance of Housing Land Requirement 2019-2024 (A-B)	829	1,756	2,585	1,629	4,288	137
D	Housing Land Requirement 2024-2029	460	980	1,440	920	2,030	60
E	Housing Land Requirement 2029-2032	0	0	0	0	0	0
F	Housing Land Requirement 2024-2029/32 (D+E)	460	980	1,440	920	2,030	60

**7.5** As well as providing land to meet the housing land requirement, the Council is required to maintain a five-year effective housing land supply at all times. This is calculated by a pro rata division of the Clydeplan Housing Land Requirement. Table 2 sets out the 5 year requirement for the 2021-2026 period.

**TABLE 2: 5 year supply of effective housing land requirement**

		Inverclyde Local Authority Area			Inverclyde Housing Market Area	Renfrewshire Housing Sub Market Area	Renfrewshire Housing Sub Market Area (Inverclyde part)
		Affordable	Private	All Tenure	Private	Private	Private
G	Housing Land Requirement 2012-29	1,730	3,340	5,070	3,140	10,190	200
H	Annual Housing Land Requirement (G/17)	102	196	298	185	599	12
J	5 year requirement (H*5)	509	982	1,491	924	2,997	59

**7.6** Schedule 3 sets out the land identified for housing in this Plan. This is based on sites included in the 2019 Housing Land Audit and new allocations made by this Plan. The 2019 Housing Land Audit is the most recent finalised audit and forms the base year for the housing land calculations informing the preparation of this Plan. It has been updated to take account of actual completions in 2019/20, the projected completions set out in the 2021-2026 Strategic Housing Investment Plan, and comments submitted by Homes for Scotland at the Main issues Report stage. The Housing Land Technical Report 2021 provides detail of the land allocated for housing.

**7.7** The Council is required to maintain a 5-year effective land supply at all times, and will monitor its land supply through an annual housing land audit to ensure it is doing so. If additional housing land is required, Policy 18 sets out the criteria against which proposals will be assessed.

**7.8** The Council supports, in principle, the development of housing on the sites identified in Schedule 3, subject to assessment against relevant Supplementary Guidance and other policies of the Plan. Housing development on other appropriate sites within the residential areas and town and local centres will also be supported, subject to the same assessment. All housing development will be assessed against Supplementary Guidance on Design Guidance for New Residential Development, Planning Application Advice Notes, and Delivering Green Infrastructure through New Development.

**7.9** Owing to the land identified and being delivered for affordable housing in Inverclyde, it has been concluded there is no longer a need for the Local Development Plan to have a policy seeking a contribution of affordable housing from private housing development sites across the whole of Inverclyde, as owing to More Homes Scotland funding and the quantity of land available to housing associations, affordable housing requirements can be met without contribution from private sector sites. However, it is recognised that within the Inverclyde villages (Kilmacolm, Quarrier's Village, Inverkip and Wemyss Bay) there is limited supply of affordable housing available and no land identified for affordable housing development. Therefore, in order to increase the supply of affordable housing, there will be a requirement for 25% of houses on greenfield housing sites in the Inverclyde villages to be affordable.



## POLICY 18 - LAND FOR HOUSING

To enable delivery of the Clydeplan Strategic Development Plan housing supply target for Inverclyde, new housing development will be supported on the sites identified in Schedule 3, and on other appropriate sites within residential areas and town and local centres. All proposals for residential development will be assessed against relevant Supplementary Guidance including Design Guidance for Residential Development, Planning Application Advice Notes, and Delivering Green Infrastructure Through New Development.

The Council will undertake an annual audit of housing land in order to ensure that it maintains a 5 year effective housing land supply. If additional land is required for housing development, the Council will consider proposals with regard to the policies applicable to the site and the following criteria:

- a) a strong preference for appropriate brownfield sites within the identified settlement boundaries;
- b) there being no adverse impact on the delivery of the Priority Places and Projects identified by the Plan;
- c) that the proposal is for sustainable development; and
- d) evidence that the proposed site(s) will deliver housing in time to address the identified shortfall within the relevant Housing Market Area.

There will be a requirement for 25% of houses on greenfield housing sites in the Inverclyde villages to be for affordable housing. Supplementary Guidance will be prepared in respect of this requirement.

### Individual and Small Scale Housing Development in the Green Belt and Countryside

**7.10** The Council has a planning strategy that seeks to direct residential development to existing built up areas, and minimise the encroachment of development into the Green Belt and isolated development in the Countryside. This is a sustainable approach in terms of reducing the need to travel and making use of existing infrastructure, whilst also supporting urban regeneration and protecting the rural environment. However, the Council does recognise the need for some new houses in the Countryside for operational or economic reasons, and that the reuse of existing houses and buildings can offer an opportunity for residential development that does not have an impact on the

countryside environment. Policy 19 is applicable for proposals for up to 3 houses in the Green Belt or Countryside.

## POLICY 19 – INDIVIDUAL AND SMALL SCALE HOUSING DEVELOPMENT IN THE GREEN BELT AND COUNTRYSIDE

Proposals for individual and small scale housing development (up to 3 houses) in the Green Belt and Countryside will only be supported in the following circumstances:

- a) where the dwelling(s) is justified by the operational needs of a farm or other viable business which is inherently rural in nature and has been in operation for at least 5 years;
- b) where the dwelling(s) is an ancillary and integral part of a development that would bring significant economic benefits to Inverclyde;
- c) demolition and replacement of a habitable dwelling which cannot otherwise be brought up to current building standards, and where the proposed dwelling is similar in scale to the existing dwelling;
- d) sub-division of an existing dwelling to create one or more additional dwellings, but only where any extensions are clearly ancillary to the existing building; or
- e) conversion of redundant stone or brick built non-residential buildings, where the proposal is supported by proof that the existing building is no longer needed for its original purpose, and a structural survey indicates that the building is structurally sound and capable of conversion without substantial alteration, extension or rebuilding, with any new build element clearly ancillary to the existing building.

In all instances, dwellings are required to be designed and located to respect and complement their Green Belt/Countryside location and their landscape setting. Any new development should positively contribute to the established character of the local landscape in terms of siting, scale, design, form and materials.

### Residential Areas

**7.11** Inverclyde contains many successful residential areas, and it is important for the Council's repopulation agenda that these remain attractive places to live. The Council will therefore support resident's proposals to improve their

properties where these proposals do not have an unacceptable impact on their neighbours' enjoyment of their own properties, the appearance of the surrounding area or traffic and pedestrian safety. New houses will also be supported in existing residential areas where the impact on existing houses is acceptable, and the design and layout of the new houses are in keeping with their surroundings. Likewise, appropriate non-residential development can also enhance residential areas as a place to live, but needs to be considerably located, designed and operated to avoid unacceptable impact on nearby houses. Proposals for the development or use of premises for home-working, live-work units, micro-businesses and community hubs will also be supported, subject to there being no unacceptable impacts.

for wheelchair users, as outlined in Housing for Varying Needs (HfVN) (column 'B' in 'Summary of Design Criteria') and that local authorities are strongly encouraged to include the design criteria indicated as 'desirable' (column 'D' in 'Summary of Design Criteria') wherever possible.

**7.14** The Council recognises the practical difficulties that a wheelchair accessible housing target may cause private sector housebuilders with regard to the design of developments and marketing of wheelchair accessible housing. It will work with developers to confirm and identify demand for wheelchair accessible housing on development sites. Developers are encouraged to make early contact with the Council in this regard.

## POLICY 20 - RESIDENTIAL AREAS

Proposals for development within residential areas will be assessed with regard to their impact on the amenity, character and appearance of the area. Where relevant, assessment will include reference to the Council's Planning Application Advice Notes Supplementary Guidance.

## POLICY 21 - WHEELCHAIR ACCESSIBLE HOUSING

The Council will seek the provision of 5% wheelchair accessible housing on new build development sites of 20 or more units. Developers will be required to demonstrate that they have considered the demand for and provision of wheelchair accessible housing if they are seeking an exemption from this requirement.

### Wheelchair Accessible Housing

**7.12** The Council's Local Housing Strategy 2017-2022 includes a target for 3% of new build social housing to be wheelchair accessible. Delivery of this target is being achieved through sites identified in the Strategic Housing Investment Plan. The Scottish Government's More Homes Division issued guidance in March 2019 relating to the setting of wheelchair accessible housing targets for housing of all tenures in Local Housing Strategies. The Council's next Local Housing Strategy is due in 2022. In advance of that, the 2020 update of the Local Housing Strategy refers to extending the target for wheelchair accessible homes across all tenures, and also refers to the Specialist Provision Review that is being undertaken by the Council. Early work on that exercise, using the 'Still Minding the Step' methodology identified an estimated unmet need of 266 households with unmet wheelchair accessible housing need, rising to 456 households by 2026. To address this, the Specialist Housing Review recommends a 5% target for wheelchair accessible housing in new build developments across all tenures. It is considered that the application of this target would only be practical on sites of 20 or more houses.

**7.13** The Scottish Government guidance from March 2019 states that in relation to this target, home suitable for wheelchairs users to live in should as a minimum comply with the design criteria indicated as a 'basic' requirement

### Community Facilities

**7.15** Since 2004, the Council has invested £270m in rationalising and improving its schools estate, with, at 2016, the condition of all school buildings being rated Good or Satisfactory. Investment in the schools estate, including early years' provision, continues. The new Greenock Health Centre on Wellington Street opens in 2021, contributing to the regeneration of the Broomhill area.

**7.16** The Council and Inverclyde Leisure fund and manage a range of community facilities around Inverclyde, and continually monitor the use and condition of these properties. As communities change so do the requirements for community facilities, and it may be that over the lifetime of this Plan some existing community facilities will fall out of use, whilst new ones will become required. The Council recognises the value of community facilities and will support the provision of new facilities in appropriate locations. Currently proposed facilities are listed in Schedule 5. The Council will also consider the ongoing requirement for community use of any community facility for which a change of use is proposed. Inverclyde's cultural and performance venues, some of which are run as commercial ventures, also serve a community function. Venues such as the Beacon Arts Centre, the Albany, Waterfront Cinema, the Watt Institution, and the Scottish Fire and Rescue Service Museum and Heritage

Centre, all in Greenock, and Port Glasgow Town Hall all contribute to the cultural and community life of Inverclyde.

**7.17** New housing development can increase usage of community infrastructure such as schools, sometimes resulting in new or extended infrastructure being required. In such circumstances, the Council considers it reasonable to seek a financial contribution from the developers of new housing towards the cost of the new infrastructure required as a result of the development. The Council will prepare Supplementary Guidance setting out the types of community infrastructure developer contributions will be sought for, in what circumstances they will be sought, and the level of contribution that will be sought. With regard to educational requirements, the Planning Service liaises with Education colleagues on the implications of new housing development on schools through the annual housing land audit and during the Plan preparation process. Current analysis indicates that proposed development could lead to pressure on pupil capacities in the following: St Columba's High School and Wemyss Bay, St Andrew's, Aileymill and St Ninian's primary schools.

## **POLICY 22 - COMMUNITY FACILITIES**

**Proposals for the new community facilities identified in Schedule 4 will be supported. Community facilities in other locations will be supported where the location is appropriate in terms of avoiding adverse impact on the amenity and operation of existing and surrounding uses, and where it can be reached conveniently by walking, cycling or public transport by its proposed users.**

**Proposals that would result in the loss of a community facility (including cultural/performance venues) will need to demonstrate that the facility is no longer required for the existing or an alternative community use.**

**The Council will produce Supplementary Guidance setting out the circumstances under which it will seek financial contributions from the developers of new housing towards new or extended community infrastructure required as a result of that housing development.**



Housing under construction - James Watt Dock, Greenock

### SCHEDULE 3: Housing development opportunity sites

Site Ref	Site/Address	Remaining / Indicative Capacity	Notes	Site Ref	Site/Address	Remaining / Indicative Capacity	Notes
<b><u>INVERCLYDE HOUSING MARKET AREA</u></b>				<b><u>GREENOCK</u></b>			
<b><u>PORT GLASGOW</u></b>				R14	James Watt Dock (East)	137	Development started – not shown on Proposals Map
R1	Slaemuir (various sites)	64	Development started – not shown on Proposals Map	R15	James Watt Dock/ Garvel Island	900	James Watt Dock/Garvel Island Priority Place
R2	Arran Avenue, Park Farm	115		R16	Sinclair Street	12	
R3	Former Broadfield Hospital	54	Development started – not shown on Proposals Map.	R17	Carwood Street	31	
R4	Woodhall	140	Port Glasgow Eastern Gateway Priority Place	R18	East Crawford Street	40	
R5	Southfield Avenue (former St. Stephen's Sch.)	224	Development started – not shown on Proposals Map	R19	Ratho/MacDougall Street	100	
R6	Dubbs Road (former Boglestone Clinic)	24	Development started – not shown on Proposals Map	R20	Cardross Crescent (former King's Glen School)	57	Development started – not shown on Proposals Map
R7	Port Glasgow Industrial Estate	500	Capacity increased from 200	R21	Glenbrae Road	15	New allocation 2021
R8	Dougliehill Terrace	4		R22	Whinhill	100	New allocation 2021
R9	Selkirk Road	18		R23	Gareloch Road	100	
R10	Clune Park	80	Port Glasgow Eastern Gateway Priority Place	R24	Wellington Park	120	
R11	3 Highholm Street	12		R25	Drumfrochar Road	50	Drumfrochar Road Priority Place
R12	Broadstone Ave (former Broadstone Hospital)	12	Development started – not shown on Proposals Map	R26	Mearns Street	10	New allocation 2021
R13	Lilybank Road (former Lilybank School)	16	Development started – not shown on Proposals Map	R27	Mount Pleasant Street (former Highlander's Academy)	44	Development started – not shown on Proposals Map.
<b>PORT GLASGOW TOTAL</b>		<b>1,263</b>		R28	Duncan Street (former Greenock Health Centre)	35	
				R29	Victoria/East India Harbour	240	The Harbours Priority Place

Site Ref	Site/Address	Remaining / Indicative Capacity	Notes	Site Ref	Site/Address	Remaining / Indicative Capacity	Notes
R30	25 West Blackhall Street	4	Development started – not shown on Proposals Map.	R46	Norfolk Road	10	New allocation 2021
R31	16 West Stewart Street	24		R47	Auchmead Road (former Ravenscraig Sch.)	36	Development started– not shown on Proposals Map
R32	Houston Street	20		R48	Spango Valley	420	Spango Valley Priority Place
R33	Ardgowan Square	8	Development started – not shown on Proposals Map		<b>GREENOCK TOTAL</b>	<b>3,253</b>	
R34	Union Street	130	Capacity increased from 60		<b><u>GOUROCK</u></b>		
R35	Eldon Street	22	New allocation 2021	R49	Weymouth Crescent	10	
R36	Madeira Street (former Greenock Academy)	30		R50	Kirn Drive	110	
R37	Eldon Street	60	Development started – not shown on Proposals Map.	R51	Kempock House, Kirn Drive	5	Development started– not shown on Proposals Map
R38	Lyle Road (former Holy Cross Sch.)	15		R52	McPherson Drive	22	New allocation 2021
R39	Peat Road/Hole Farm	102	Peat Road Priority Place	R53	Shore Street	8	
R40	Tay Street/Tweed Street	69	Development started – not shown on Proposals Map.	R54	Ashburn Gate	13	
R41	Davey Street	26		R55	1 Ashton Road	11	
R42	Ravenscraig Hospital	198	Development started – not shown on Proposals Map	R56	Cowal View	16	Development started– not shown on Proposals Map
R43	Auchneagh Road	28	Development started – not shown on Proposals Map.	R57	Levan Farm (Phase 3)	150	
R44	Westmorland Road	40			<b>GOUROCK TOTAL</b>	<b>345</b>	
R45	Cumberland Walk	20	New allocation 2021		<b><u>INVERKIP &amp; WEMYSS BAY</u></b>		
				R58	The Glebe, Inverkip	32	Development started– not shown on Proposals Map
				R59	Former Inverkip Power Station	670	Inverkip Power Station Priority Place
					<b>INVERKIP &amp; WEMYSS BAY TOTAL</b>	<b>702</b>	

Site Ref	Site/Address	Remaining / Indicative Capacity	Notes
<b>KILMACOLM &amp; QUARRIERS VILLAGE</b>			
R60	Leperstone Avenue, Kilmacolm	7	Development started– not shown on Proposals Map
R61	West of Quarry Drive, Kilmacolm	78	New allocation 2021
R62	Smithy Brae, Kilmacolm	42	New allocation 2021 (part)
R63	Lochwinnoch Road, Kilmacolm	12	Development started– not shown on Proposals Map
R64	Whitelea Road, Kilmacolm	4	
R65	Former Balrossie School, Kilmacolm	64	
R66	Kaimes Grove (inc. Woodside Care Home), Quarriers Village	6	New allocation 2021 (part)
R67	Craigbet Road, Quarriers Village	9	New allocation 2021
<b>KILMACOLM &amp; QUARRIERS VILLAGE TOTAL</b>		<b>229</b>	
<b>INVERCLYDE TOTAL</b>		<b>5,792</b>	
<p>Source: 2019 Housing Land Audit, revised to reflect actual completions, Homes for Scotland comments and the 2021-26 Strategic Housing Investment Plan. Also includes new sites and revised capacities suggested through Main Issues Report process.</p> <p>Indicative capacity: This reflects the remaining capacity on sites that have been started. Other capacities are based on planning permissions, development proposals or Council estimates. Actual capacity will be based on design-led proposals for the site based on creating a successful place. Indicative capacities should not be considered a 'target' capacity, and proposals matching the indicative capacity will not be considered acceptable if the design is not considered acceptable.</p>			

<b>SCHEDULE 4: Community Facilities Opportunities</b>		
Reference	Proposed Facility	Location
F1	Community centre	McLeod Street, Greenock
F2	Community learning disability hub	Brachelston Street, Greenock
F3	New cemetery capacity	To be confirmed
F4	New West College Scotland Campus	To be confirmed
F5	Kilmacolm village centre car park	To be confirmed

# OUR TOWN AND LOCAL CENTRES

## Introduction

**8.1** Inverclyde is well served by a network of town and local centres offering a range of shops and services in easily accessible locations. These centres also serve important civic, cultural, commercial and leisure functions, and are important employment locations. Some centres have been severely impacted by the COVID-19 pandemic, with many business and facilities closed for lengthy periods in 2020 and 2021. It is obviously hoped and anticipated that these centres will return to normal over the course of this Plan period, and the paragraphs below reflect the normal operating status of these centres.

**8.2** Greenock is the largest town centre drawing visitors from across the authority area and beyond. It is identified as a Strategic Centre in the Clydeplan Strategic Development Plan. It offers Inverclyde's largest concentration and selection of food and non-food shopping, and a wide range of non-retail services and businesses such as a cinema, the Waterfront Leisure Centre, the Watt Institution, the Beacon Arts Centre, the Greenock West College Scotland campus and a number of restaurants, pubs and nightclubs that provide evening activity. It is also an important employment hub, with a number of large offices located there. In this and previous Plans, Greenock is recognised as having a Central Area, which is the main focus for shopping activity, and an Outer Area, which is more service orientated. Greenock previously had a retail core identified within which there was a restriction on non-Class 1 uses (i.e. shops). In order to increase flexibility for investment, this Plan has removed that restriction. The Council has identified a number of underutilised sites and buildings in Greenock town centre including the predominantly vacant eastern wing of the Oak Mall shopping centre, the King Street car park, and the former Babylon night club and the multi-storey car park site, both on West Stewart Street. These sites are considered to have an adverse impact on the environment and perception of the town centre being a successful place. The Council is therefore keen to see these sites brought into productive use. The Council is also working with Sustrans to revitalise West Blackhall Street, Greenock town centre's main commercial street, and to improve walking and cycling connections to and through the town centre. A masterplan for Greenock town centre was prepared following a charrette in 2016. The Council will continue to investigate options for implementation of the masterplan proposals.

**8.3** Port Glasgow town centre's role has changed in recent years from mainly convenience shopping for the town's residents to offering large format food and non-food shopping that draws shoppers from across Inverclyde. The Council has recently invested in improving the public realm within the town

centre's traditional core, and is undertaking renovations of the King George VI building, the town centre's oldest building. There are proposals for the installation of sculpture celebrating Port Glasgow's shipbuilding heritage in Coronation Park, adjoining the town centre. A masterplan for Port Glasgow town centre was prepared following a charrette in 2014. The Council will continue to investigate options for implementation of the masterplan proposals.

**8.4** Gourock serves as a convenient centre for the residents of the town and to travellers and commuters making use of the ferry connections to Argyll and Bute. Its waterfront location including a seasonal outdoor swimming pool, traditional format and concentration of independent shops and cafes mean that it also attracts day visitors from across Inverclyde and beyond. It has benefitted from recent investment in its railway station, road network and parking facilities, and from environmental improvements along the waterfront and at the pierhead.

**8.5** Local centres range from the traditional village centre of Kilmacolm, which has an attractive mix of independent traders, to the modern purpose-built local centre in Inverkip. All local centres have an important role in providing convenient services and a community focus.



Inverkip village centre

## Network of Centres Strategy

**8.6** Together, our town and local centres form a network with each centre serving a specific purpose and community. The Plan seeks to manage development within and outwith these centres so that they continue to complement each other for the benefit of the whole area, whilst offering healthy competition for the benefit of customers. It does this by directing appropriate uses to the network of centres in preference to other locations and by controlling development that would have an unacceptable impact on centres within the network. This is consistent with the 'sequential approach' set out in paragraph 68 of Scottish Planning Policy. The Plan recognises and seeks to safeguard Greenock as the main town centre within Inverclyde. Residential development is encouraged within the network of centres as it contributes to footfall, activity and security.

### **POLICY 23 - NETWORK OF CENTRES STRATEGY**

The preferred locations for the uses set out in Schedule 5 are within the network of town and local centres identified in Schedule 6. Proposals which accord with the role and function of the network of centres as set out in Schedule 6 and the opportunities identified in Schedule 7 will be supported. Proposals for Schedule 6 uses outwith the network of centres or not conforming with the role and function of a particular centre will only be supported if it can be demonstrated that:

- a) there is not a suitable sequentially preferable opportunity;
- b) there will not be an unacceptable impact on the vibrancy, vitality or viability of other centres within the network of centres; and
- c) there are clear community or economic benefits that can be best achieved at the proposed location.

Proposals for Business (Class 4), residential and hotel uses will also be supported in town and local centres.

### **SCHEDULE 5 – Uses Directed to the Network of Centres**

Shops (Class 1)  
Financial, professional and other services (Class 2)  
Food and drink (Class 3)  
Non-residential institutions (Class 10)  
Assembly and leisure (Class 11)  
Amusement arcade/centre (Sui generis)  
Betting office (Sui generis)  
Beautician/Nail bar (Sui generis)  
Hot food takeaway (Sui generis)  
Pay day loan shop (Sui generis)  
Public house (Sui generis)  
Tattoo parlour (Sui generis)  
Taxi/private hire office (Sui generis)  
Theatre (Sui generis)  
Other uses most closely associated with, or most appropriately located within town or local centres.

(Descriptions in brackets as per Town and Country Planning (Use Classes)(Scotland) Order 1997 (as amended))



## SCHEDULE 6 – Network of Centres Strategy

Centre	Status	Role and function
Greenock	Strategic Centre	Greenock Central Area is the preferred location for new retail development over 1,000 square metres. New retail development in the Greenock Outer Area should not exceed 1,000 square metres. Greenock town centre is the preferred location for other Schedule 5 uses with an Inverclyde-wide catchment.
Port Glasgow Gourock	Town Centre	Second preferred locations for new retail development over 1,000 square metres. Preferred location for other Schedule 5 uses with whole town catchments
The Cross, Kilmacolm Dubbs Road, Pt Glasgow Sinclair Street, Greenock Lyndedoch Street, Greenock Barrs Cottage, Greenock Cardwell Road, Gourock Kip Park, Inverkip Ardgowan Road, Wemyss Bay, Inverkip Power Station* Spango Valley, Greenock* * proposed local centre as part of comprehensive masterplan	Local centre	New retail development should not exceed 1,000 square metres Preferred location for other Schedule 5 uses serving a local catchment.
Local facilities		Proposals for new Schedule 5 uses outwith the town and local centres shall not exceed 250 square metres in total.

## SCHEDULE 7 – Network of Centres Opportunities

Reference	Centre	Site/Location
C1	Greenock Town Centre	15 Nelson Street
C2	Greenock Town Centre	16 West Stewart Street
C3	Greenock Town Centre	25 West Stewart Street
C4	Greenock Town Centre	Oak Mall eastern wing
C5	Inverkip Local Centre	Main Street
C6	Inverkip Power Station	New local centre
C7	Spango Valley, Greenock	New local centre
C8	Gourock	Shore Street





Grey Place, Greenock

## Network of Centres Sui Generis uses

**8.7** Inverclyde's town and local centres are home to a wide variety of uses. Their central locations and high level of passing trade make them an obvious place for commercial businesses to locate. The Use Class Order (1997) divides different types of land and property uses into different classes, and sets out when planning permission is needed to allow changes of use between the different classes. Some of the Use Classes relate to uses that would normally be found in town and local centres, such as Shops and Food & Drink. Other uses are known as sui generis (meaning 'of its own kind') and do not sit within a particular Use Class. These are often uses which the planning system seeks to keep a tighter control on for reasons of amenity or well-being.

### POLICY 24 – NETWORK OF CENTRES SUI GENERIS USES

Proposals for the Sui Generis uses listed in Schedule 6 and any other Sui Generis uses proposed within the network of centres will be assessed with regard to:

- a) whether there would be an unacceptable impact on the amenity and operation of existing and surrounding uses;
- b) whether the proposal will result in a concentration of a particular use or uses that would be to the detriment of the centre's vibrancy, vitality or viability, and the wellbeing of the community;
- c) the contribution the proposal would make to the vibrancy, vitality and viability of the centre by way of increasing footfall or making use of a vacant unit; and
- d) the availability and suitability of other locations within the centre.

# OUR JOBS AND BUSINESSES

## Introduction

**9.1** Inverclyde has seen a significant economic shift in the last 30 years, most notably from a manufacturing to a service based economy. The presence of national and multi-national employers present in Inverclyde evidences the current diversity with service-based companies such as RBS, EE, and Amazon operating alongside maritime-related employers such as Ferguson Marine and Caledonian MacBrayne. Small and medium enterprises in sectors including life sciences, food and drink manufacture, and auto-related services are also a key source of employment. Retail and financial and professional services are big employers in our town centres. The public and third sectors are also important employers. City Deal investment in a dedicated cruise ship berth at Greenock Ocean Terminal also highlights the growing importance of tourism in Inverclyde's economy.

## Business and Industrial Areas

**9.2** Inverclyde's varied economy is served by a range of industrial areas, including waterside locations that have long served maritime-related industry, post-war industrial estates, and the former Enterprise Zones where the area's service industries have located. More recently there has been investment in new industrial units at Kelburn Business Park in Port Glasgow and high quality offices at Riverside Business Park in Greenock. Scarlow House in Port Glasgow, the Municipal Buildings in Gourrock and Custom House in Greenock have all recently been renovated to provide centrally located office space.

**9.3** Inverclyde Waterfront is identified as a Strategic Economic Investment Location by the Clydeplan Strategic Development Plan. This includes Inchgreen in Greenock (City Deal site) for renewable and specialist marine services and Carlsdyke for business and financial services. Greenock Ocean Terminal (City Deal site) is identified by Clydeplan as a Strategic Freight Transport Hub. The Council continues to recognise the economic value of its ports, harbours and docks, and seeks to retain the existing or potential value of these areas for maritime-related industry, except where a masterplan associated with this Plan has identified an alternative use.

**9.4** The Plan recognises that as Inverclyde's economy has changed so too has demand for the type and location of business and industrial premises. In older industrial estates there are clusters of underused properties and vacant land. The Plan identifies these areas for economic mixed use, where uses that would either contribute to permanent employment creation or clearly support the operation of existing businesses are supported.

## POLICY 25 - BUSINESS AND INDUSTRIAL AREAS

Proposals for development within the business and industrial areas identified on the Proposals Map will be assessed against the following strategy:

### STRATEGIC ECONOMIC INVESTMENT LOCATIONS

Areas identified under 25(a) on the Proposals Map are promoted and safeguarded for business and financial services.

Inchgreen (25(b) on the Proposals Map) is promoted and safeguarded for marine related business and industry.

### STRATEGIC FREIGHT TRANSPORT HUB

Greenock Ocean Terminal (25(c) on the Proposals Map) is safeguarded for freight transport and cruise liner activity.

### LOCAL BUSINESS AND INDUSTRIAL AREAS

Areas identified under 25(d) on the Proposals Map are safeguarded for business, general industrial, and storage/distribution uses (Class 4, 5 and 6).

Other uses may be supported within areas 25(a)-(d) where it is clearly demonstrated that they:

- a) are ancillary to the safeguarded use
- b) will not prevent the future development of the site for the safeguarded use

### ECONOMIC MIXED USE AREAS

The areas identified as 25(e) on the Proposals Map will be safeguarded for business, general industrial, and storage/distribution uses (Class 4, 5 and 6); and other uses, which would either contribute to permanent employment creation or clearly support the operation of existing businesses.

### PORTS, HARBOURS AND DOCKS

Port, harbour and dock facilities will be safeguarded from development that would adversely impact on their existing or potential maritime related use, except where the area has been identified for alternative uses by this Plan or associated Supplementary Guidance.

## Business and Industrial Development Opportunities

**9.5** There is a need to attract private sector businesses and investment into Inverclyde, as well as supporting existing businesses to grow and new small and medium-sized businesses to set up. This is key to Inverclyde's future prosperity as it will widen the business base, create new job opportunities, help retain the existing population, attract new people to the area, and support and enhance local services.

**9.6** The Plan identifies a generous and varied supply of development land; including large scale sites such as Spango Valley and Inchgreen, medium sized sites at Main Street, and smaller sites such as Bogston Lane (all Greenock). This supply is intended to meet the aspirations of different sectors and business sizes.

### POLICY 26 – BUSINESS AND INDUSTRIAL DEVELOPMENT OPPORTUNITIES

Business, industrial, and storage or distribution uses (Class 4, 5 and 6) on the sites listed in Schedule 8 and shown on the Proposals Map, will be supported.



### SCHEDULE 8: Business and Industrial Development Opportunities

Site Ref	Site/Location	Site Area (ha)	Preferred Use	Additional Information
<b>PORT GLASGOW</b>				
E1	Kelburn (Parklea Rd)	1.48	Class 4, 5 & 6	
E2	Duchal Street	0.66	Class 4, 5 & 6	
E3	Newark Street	0.98	Class 4, 5 & 6	
<b>GREENOCK</b>				
E4	Bogston Lane	0.21	Class 4, 5 & 6	
E5	Port Glasgow Rd (south)	0.59	Class 4, 5 & 6	
E6	Inchgreen	16.86	Class 4, 5 & 6	Strategic Economic Investment Location and City Deal site
E7	Sinclair Street	2.43	Class 4, 5 & 6	
E8	James Watt Dock /Garvel Island	Indicative	Class 4, 5 & 6	See Priority Places Supplementary Guidance
E9	Main Street	1.43	Class 4	Strategic Economic Investment Location
E10	Cartsdyke Avenue	0.43	Class 4	Strategic Economic Investment Location
E11	Crescent Street	0.37	Class 4, 5 & 6	
E12	Ingleston Street	1.16	Class 4, 5 & 6	
E13	Scott Street	0.27	Class 4, 5 & 6	
E14	Drumfrochar Road	2.32	Class 4, 5 & 6	
E15	Drumfrochar Road	0.69	Class 4, 5 & 6	

Site Ref	Site/Location	Site Area (ha)	Preferred Use	Additional Information
E16	Spango Valley	Indicative	Class 4, 5 & 6	See Priority Places Supplementary Guidance
E17	Larkfield Industrial Estate	1.78	Class 4, 5 & 6	
E18	Former Inverkip Power Station	Indicative	Class 4	See Priority Places Supplementary Guidance

## Tourism Development

**9.7** Inverclyde's waterfront location, programme of events and rich cultural and natural heritage make it an appealing place to visit. Attractions and facilities include the James Watt Dock and Kip marinas, Clyde Muirshiel Regional Park, Newark Castle, Gourock Waterfront, and the rural villages of Kilmacolm and Quarrier's Village. Many visitors also stop as they pass through Inverclyde on their way to and from ferries to Argyll. In recent years, although interrupted by the COVID-19 pandemic, the cruise liner business at Greenock Ocean Terminal has grown significantly, bringing more tourists and ship crew into the area. With the City Deal funded project for a dedicated cruise liner berth and visitor centre being delivered, a return to growth for this sector is being prepared for.

**9.8** The Plan supports tourism by safeguarding existing tourist related facilities and adopting a positive approach to the development of new facilities.

## POLICY 27 – TOURISM DEVELOPMENT

Proposals for change of use of tourism related facilities will only be supported where it can be demonstrated that they are no longer viable as a business in their current use.

Development of tourism related facilities will be supported in appropriate locations where:

- a) it avoids adverse impact on the amenity and operation of existing and adjacent uses;
- b) major trip-generating proposals can be travelled to by sustainable modes of transport; and
- c) it is appropriately sited and designed for its location and avoids significant adverse impact on the resources protected by the Plan's historic buildings and places, and natural and open spaces chapters.

## Minerals Extraction

**9.9** Inverclyde does not currently have any live mineral workings and the Council is unaware of any workable mineral resource being present within its area. Mineral workings, whilst important for the economy, can have an impact on local communities, the environment and built and natural heritage. The Council's position is that any proposals for mineral extraction should be brought forward through the Local Development Plan process. As such, no proposals for mineral workings will be supported during the lifetime of this Plan. Should any proposals come forward during the Plan period, they will be assessed in accordance with the other policies of the Plan and Scottish Planning Policy.

## Glasgow Airport

**9.10** The Council recognises Glasgow Airport as being important for the economy and connectivity of Inverclyde and the wider Glasgow City Region. The Council supports, in principle, improvements to the surface connectivity to Glasgow Airport, particularly where these would improve sustainable and public transport access from Inverclyde and the wider City Region. The Council recognises the potential benefits of stronger links between Glasgow Airport and Greenock Ocean Terminal's cruise ship and freight functions.

## OUR HISTORIC BUILDINGS AND PLACES

**10.1** Inverclyde's buildings and places chart the long history of the area. Archaeological finds evidence the occupation of the area from pre-historic through to Roman times; Newark Castle and the initial growth of our towns and villages occurred during medieval times; and the industrialisation and urbanisation of the 18th to 20th centuries shaped Inverclyde as we know it now. Inverclyde's past has gifted the present day with a rich and varied legacy of historic buildings and places which significantly contribute to the culture, character and sense of place, and which support tourism and the economy. These include conservation areas, listed buildings, scheduled monuments and other archaeological sites, and gardens and designed landscapes.

**10.2** As well as the policies below, when assessing proposals affecting these historic buildings and places, the Council will have regard to Historic Environment Policy Scotland (2019) and any successor document, as well as the 'Managing Change' series of guidance notes prepared by Historic Environment Scotland.



Ardgowan Bowling Club, Greenock

### Conservation Areas

**10.3** Inverclyde has eight conservation areas: Greenock (West End and Cathcart Square/William Street), Gourock (West Bay and Kempock Street/Shore Street), Inverkip, Kilmacolm (South East and The Cross) and Quarrier's Homes. There are Article 4 Directions associated with five of these, the exceptions being The Cross, Kilmacolm and the two Gourock conservation areas. Article 4 Directions remove permitted development rights from the conservation areas they cover. It is intended to prepare a standard Article 4 Direction that will apply to each of the eight conservation areas.

**10.4** Conservation Area Appraisals are useful documents for understanding the important features of conservation areas, assisting their positive management and informing development management decisions. Conservation Area Appraisals have been completed for the Greenock West End (2016) and Quarrier's Homes (2020). It is intended that appraisals will be prepared for the other conservation areas over the lifetime of this Plan.

### POLICY 28 – CONSERVATION AREAS

Proposals for development, within or affecting the setting of a conservation area, are to preserve or enhance the character and appearance of the area. In assessing such proposals regard will be had to any relevant Conservation Area Appraisals or other information relating to the historic or architectural value of the conservation area.

Where the demolition of an unlisted building is proposed, consideration will be given to the contribution the building makes to the character and appearance of the conservation area. If such a building makes a positive contribution to the area, there will be a presumption in favour of retaining it. Applicants should demonstrate that every reasonable effort has been made to secure the future of the building. Proposals for demolition will not be supported in the absence of a planning application for a replacement development that preserves or enhances the character and appearance of the conservation area.

## Listed Buildings

**10.5** Inverclyde has 247 listed buildings, details of which are available on the Council's website. Twenty-five of these are A-listed as they are of national or international importance, including Gourrock Ropeworks in Port Glasgow and the Custom House and Sugar Warehouses in Greenock.

**10.6** Many listed buildings are within the ownership of the Council, and in recent years there has been significant investment made at the Municipal Buildings and Watt Institution in Greenock and King George VI building in Port Glasgow, to retain or prepare the listed buildings for active use and secure their future. Other buildings including the former sugar warehouses on James Watt Dock have been made wind and watertight with Council support until such times as a new and sustainable use can be found. However, there are also listed buildings within Inverclyde on the Buildings at Risk Register for Scotland. The Council will work with interested parties to find suitable future uses for these and other listed buildings.



## POLICY 29 – LISTED BUILDINGS

**Proposals for development affecting a listed building, including its setting, are required to protect its special architectural or historical interest. In assessing proposals, due consideration will be given to how the proposals will enable the building to remain in active use.**

**Demolition of a listed building will not be permitted unless the building is no longer of special interest; it is clearly incapable of meaningful repair; or there are overriding environmental or economic reasons in support of its demolition. Applicants should also demonstrate that every reasonable effort has been made to secure the future of the building as set out in national guidance.**

## Enabling Development

**10.7** One means of securing the future of listed buildings, or other buildings of architectural merit, is to permit enabling development facilitating the restoration or retention of a listed building through cross-funding provided by new development, usually within the grounds of the listed building. Examples of this in Inverclyde include the former Bridge of Weir Hospital near Quarrier's Village, Auchenbothie near Kilmacolm and Langhouse near Inverkip. The Council has also accepted the principle of enabling development as a means of restoring the former Balrossie School buildings near Kilmacolm.

**10.8** Enabling development is often permitted in locations where new buildings would not normally be, such as in the green belt, with the justification being the retention or restoration of a listed building that might otherwise be lost. In these circumstances, it is important that it can be demonstrated that the enabling development is the only means by which the listed building can be saved, that it is appropriately designed and located, and that only the minimum enabling development necessary to save the listed building is permitted. The Council will bring forward Supplementary Guidance to provide additional advice and policy context on this matter.

## POLICY 30 - ENABLING DEVELOPMENT

Proposals for enabling development to support the restoration of listed buildings, including those listed in Schedule 9, will be considered favourably where it can be clearly shown to be the only means of preventing the loss of the listed building and securing its long term future. Any enabling development is required to be the minimum necessary to achieve this aim, and the Council will not support enabling development where the scale of new building proposed is considered to outweigh the benefit of retaining the listed building. The resultant development is required to be designed and sited carefully to preserve or enhance the character and setting of the listed building. Further detail will be set out in the Council's Supplementary Guidance on Enabling Development which will form part of the assessment of any proposals.

### SCHEDULE 9: Enabling Development Opportunities

Reference	Site/Location
ED1	Balrossie, Kilmacolm

### Scheduled Monuments and Archaeological Sites

**10.9** Inverclyde has a rich archaeological heritage. This is evidenced by its 31 Scheduled Monuments ranging from High Castlehill, which is the remnants of a prehistoric settlement, through to the 15th century Newark Castle, the 19th century industrial archaeology of the Greenock Cut, and Larkfield Battery a Second World War anti-aircraft battery. There are also numerous sites of more local archaeological interest in Inverclyde.

**10.10** Scheduled Monuments are of national importance and, as such, have a high level of protection with a separate consent system administered by Historic Environment Scotland. For non-scheduled archaeological sites, if as a result of development it is not possible to preserve these in situ then developers must undertake appropriate excavation, recording, analysis, publication and archiving before and during the development.

## POLICY 31 – SCHEDULED MONUMENTS AND ARCHAEOLOGICAL SITES

Development that would potentially have an adverse effect on a Scheduled Monument or the integrity of its setting will only be permitted in exceptional circumstances.

Development affecting archaeological sites should seek to preserve the archaeological resource in situ. Where this is not possible, the developer will be required to fully record the archaeological resource for archiving, prior to development commencing.

### Gardens and Designed Landscapes

**10.11** Inverclyde has 3 sites in the Inventory of Gardens and Designed Landscapes, a national designation recognising grounds, often of large houses, which were consciously laid out for artistic effect. These are Ardgowan, Duchal House and Finlaystone House.

## POLICY 32 – GARDENS AND DESIGNED LANDSCAPES

Development that would affect a Garden and Designed Landscape is required to protect and appropriately enhance their overall character and any feature of value, including their landscape integrity or settings.



# OUR NATURAL AND OPEN SPACES

## Introduction

**11.1** Inverclyde has a rich and varied network of natural and open spaces. These include habitats of international importance at the Inner Clyde and Renfrewshire Heights, both of which are Special Protection Areas and Sites of Special Scientific Interest, and other sites of national ecological or geological importance, including Dunrod Hill.

**11.2** Inverclyde has a distinctive landscape, with land rising steeply from a narrow coastal strip to the Renfrewshire Heights. Much of this upland area is within the Clyde Muirshiel Regional Park, which is an important educational, environmental and recreational resource.

**11.3** Our towns and villages contain a network of parks, playing fields and other open spaces, which contribute to the character and wellbeing of the area and are linked by a network of paths, which encourage active travel and recreational walks and cycles.

**11.4** Collectively, the environmental, recreational and amenity resources identified by this section of the Plan form Inverclyde's 'green network'. It is important that they are protected for their intrinsic value, but also for the contribution they make to the character of the area, whilst providing environmental, community, economic and health benefits.

## Biodiversity and Geodiversity

**11.5** Inverclyde has a diverse network of wildlife habitats, which host a variety of different species. The Inner Clyde and Renfrewshire Heights both benefit from Special Protection Area status; the former owing to its population of Redshank and the latter owing to its population of Hen Harriers. Both are designated as European (formerly Natura 2000) sites, with the Inner Clyde also designated as a Ramsar site, meaning it is a wetland of international importance. Proposals likely to have a significant effect on a European site require to be accompanied by information sufficient to allow the planning authority to carry out a Habitats Regulations Appraisal. This may require developers to commission detailed surveys of the relevant bird species. The Inner Clyde and Renfrewshire Heights sites, along with 5 further sites, are designated as Sites of Special Scientific Interest due to the geology, habitats or species of national importance found within them. Inverclyde is also home to a number of legally protected species, including bats, otters and badgers.

**11.6** Inverclyde also has a network of Local Nature Conservation Sites, which have been designated for their contribution to biodiversity or geodiversity. All previously designated sites have been carried forward.

**11.7** Most development has the opportunity to impact, positively or negatively, on biodiversity, even when it is not affecting a designated site. For example, connectivity between designated habitats is important, and fragmentation should be avoided. Even in small scale development there can be opportunities to encourage greater biodiversity through the incorporation of wildlife-friendly features in the building or landscaping.



## POLICY 33 – BIODIVERSITY AND GEODIVERSITY

### EUROPEAN SITES

Development proposals that are likely to have a significant effect on a European site which are not directly connected with or necessary to their conservation management must be subject to an appropriate assessment of the implications of the proposal on conservation objectives. Proposals will only be permitted if the assessment demonstrates that there will be no adverse effect on the integrity of the site either during construction or operation of the development, or if:

- a) there are no alternative solutions; and
- b) there are imperative reasons of overriding public interest, including those of a social or economic nature; and
- c) compensatory measures are provided to ensure that the overall coherence of the network is protected.

In such cases, the Scottish Ministers must be notified.

### SITES OF SPECIAL SCIENTIFIC INTEREST

Development affecting Sites of Special Scientific Interest will only be permitted where the objectives of the designation and the overall integrity of the area will not be compromised, or if any significant adverse effects on the qualities for which the area has been designated are clearly outweighed by social, environmental or economic benefits of national importance.

### PROTECTED SPECIES

When proposing any development which may affect a protected species, the applicant should fulfil the following requirements: to establish whether a protected species is present; to identify how the protected species may be affected by the development; to ensure that the development is planned and designed so as to avoid or minimise any such impact, while having regard to the degree of protection which is afforded by legislation, including any separate licensing requirements; and to demonstrate that it is likely that any necessary licence would be granted.

### LOCAL NATURE CONSERVATION SITES

Development is required to avoid having a significant adverse impact on Local Nature Conservation Sites. Any adverse impacts are to be minimised. Where adverse impacts are unavoidable, adequate compensatory measures will be required.

### NON-DESIGNATED SITES

All development should seek to minimise adverse impact on wildlife, especially species and habitats identified in the Local Biodiversity Action Plan. Development should take account of connectivity between habitat areas. Where possible, new development should be designed to conserve and enhance biodiversity.



Knapps Loch, Kilmacolm

## Landscape

**11.8** Inverclyde's landscape is characterised by a predominantly urbanised narrow coastal strip, set against rising land, some of which is also developed, before giving way to uplands, where agriculture and woodland uses predominate. The Glasgow and the Clyde Valley Landscape Assessment (1999) identifies the following landscape character areas in Inverclyde: raised beach on the western coast around Inverkip and Wemyss Bay; upland river valley between Greenock and Inverkip, rugged upland farmland around Kilmacolm and Quarrier's Village and rugged moorland hills covering much of the upland area.

**11.9** The West Renfrew Hills are designated as a Local Landscape Area. A Statement of Importance for this landscape area has been prepared in partnership with Nature.Scot. This identifies its special landscape qualities as including a strong sense of remoteness and wildness and iconic panoramic views from the Hills over the Firth of Clyde.



West Renfrew Hills

## POLICY 34 – LANDSCAPE

The siting and design of development should take account of local landscape character and setting in order to conserve, enhance and /or restore landscape character and distinctiveness. Development should aim to conserve those features that contribute to local distinctiveness including:

- a) the setting of buildings and settlements within the landscape
- b) the pattern of woodlands, fields, hedgerows and trees; especially where they define/ create a positive settlement/ urban edge
- c) the character and distinct qualities of river corridors
- d) historic landscapes
- e) topographic features, including important/ prominent views, vistas and panoramas

When assessing development proposals likely to have a significant impact on the landscape, the guidance contained in the Glasgow and Clyde Valley Landscape Character Assessment will be taken into account.

Development that affects the West Renfrew Hills Local Landscape Area is required to protect and, where possible, enhance its special landscape qualities as set out in the Statement of Importance. Where there is potential for development to result in a significant adverse landscape and/or visual impact, proposals should be amended to avoid or mitigate these impacts through being informed by a landscape and visual impact assessment.

## Trees, Woodland and Forestry

**11.10** Trees, woodland and forestry make a significant contribution to Inverclyde's landscape and streetscape. There are approximately 2000 hectares of woodland within Inverclyde, over half of which is commercial and approximately 500 hectares is native woodland. There are 141 hectares of ancient woodland, around 50% of which is native. There are also 33 Tree Preservation Orders in effect (January 2021), covering individual trees, groups of trees and areas of woodland within our towns and villages. Additional to that are trees which are integral to the character of areas designated for their natural and built heritage importance, for example in conservation areas. It

is intended to carry out a full review of the Tree Preservation Orders across Inverclyde during the lifetime of this Plan.

**11.11** The Scottish Government's Control of Woodland Removal Policy seeks to protect the existing forest resource in Scotland, and supports woodland removal only where it would achieve significant and clearly defined additional public benefits. A proposal for compensatory planting may form part of the planning determination. The policy supports the Scottish Government's ambition on forestry as expressed in the Climate Change Plan to increase Scotland's woodland cover from around 19% to 21% of the Scottish land area by 2032.

**11.12** Forests and woodland are important resources and they make a substantial contribution to the economy at both national and local level, they provide considerable environmental benefits and help to improve people's lives through providing employment and improved health and mental wellbeing. They also contribute to sustainable water management, climate change mitigation and adaptation, biodiversity, and make our parks and countryside more attractive places to visit.

**11.13** Proposed development sites often contain trees that could be impacted by the development process. Tree and woodland removal can impact on the ecology and landscape of local and wider environs. Tree and woodland removal should be kept to a minimum and where trees or woodland is felled, it should be replanted. To minimise and mitigate these impacts, the Council will produce Supplementary Guidance on trees. This will set out how development affecting existing trees will be assessed, how trees are to be retained and protected during the construction phase of a development, replanting or compensatory requirements, and how existing and new trees are to be managed once a development is complete.

**11.14** The Council is consulted by Scottish Forestry on new woodland creation proposals and on the felling and subsequent restocking of existing woodlands and afforested areas. Whilst this process sits outwith the planning system, new and amended forest and woodland proposals can have a significant effect, on our natural and open spaces. The Council will assess forestry proposals against the policies of this Plan and the Clydeplan Forestry and Woodland Strategy for the Glasgow City Region.

## **POLICY 35 – TREES, WOODLAND AND FORESTRY**

**The Council supports the retention of trees, including ancient and semi-natural woodland, trees covered by Tree Preservation Orders and other trees and hedgerows, which have significant amenity, historical, ecological, landscape or shelter value. Where the removal of such woodland, trees or hedgerows is proposed as part of a planning application, this will not be supported unless:**

- a) it can be clearly demonstrated that the development cannot be achieved without removal; or**
- b) the public benefits of the proposal outweigh the loss of trees/hedgerows; and**
- c) compensatory planting will be provided, to a standard agreed by the Council.**

**Development affecting trees will be assessed against Supplementary Guidance to be prepared by the Council.**

**Proposals for new forestry/woodland planting will be assessed with regard to the policies of this Plan and the Forestry and Woodland Strategy for the Glasgow City Region.**

### **Green Infrastructure**

**11.15** The term 'green infrastructure' is held by this Plan to refer to green and blue spaces which are designed, planned and managed to deliver benefits to our towns, villages, communities and the natural environment. Green infrastructure includes green elements such as open spaces, paths, landscaping, green roofs and walls, and blue elements such as ponds and natural drainage systems.

**11.16** Green infrastructure, both individually and collectively, can help make our local places more attractive, and increase our health and wellbeing by improving air quality and providing opportunities for recreation, active travel and food growing. Green infrastructure also plays a key role in making our urban environment more resilient to the impacts of climate change through the provision of naturalised drainage systems and natural shelter. The creation and linking of new wildlife habitats will also enable wildlife to adapt.

## Safeguarding Green Infrastructure

**11.17** Open spaces and playing fields contribute to the attractiveness, wellbeing and biodiversity of Inverclyde. Inverclyde has a network of large public parks including Battery Park in Greenock, Darroch Park in Gourock, Coronation Park in Port Glasgow and Birkmyre Park in Kilmacolm. These large formal parks are complemented by a network of more local parks and open spaces, including Lyle Hill and Greenock cemetery, which make a significant contribution to the character and history of the area. Although not 'green', civic spaces like Cathcart Square and the Esplanade in Greenock are an important part of the open space network. While amenity open spaces in our business and residential areas, and play areas in the latter, are smaller in scale they serve an important purpose and make Inverclyde an attractive place to live and work. Existing allotments and community growing spaces are also protected as part of the open space network.

**11.18** While outdoor sports pitches and facilities contribute to the open space network, they are also important in their own right as they encourage participation in sport and contribute to health and wellbeing. Sportscotland will be consulted on any development affecting outdoor sports facilities.

**11.19** While the Proposals Maps identify open spaces and playing fields which are greater than 0.2 hectares in size, Policy 36 protects all open spaces and sports pitches which are of quality and value to the green network, or have the potential to be. The Council will prepare an Open Space Audit and Strategy to support the implementation of this policy.

**11.20** Inverclyde also has an extensive path network, including 179 km of Core Paths criss-crossing the authority area and twenty Rights-of-Way. Route 75 of the National Cycle Network connects rural Inverclyde with the urban waterfront and is part of a route extending to Edinburgh in the east and Portavadie in the west. The path network includes the Greenock Cut, a 10km circular route running alongside the historic aqueduct, which provides panoramic views over the Firth of Clyde, and the Kelly Cut, which connects the Greenock Cut visitor centre to Wemyss Bay. The Council is currently progressing an active travel project which will deliver a dedicated cycle route from Gourock to Port Glasgow, adjacent to the A770/A8 corridor.

## POLICY 36 – SAFEGUARDING GREEN INFRASTRUCTURE

**Proposals for new or enhanced open spaces, which are appropriate in terms of location, design and accessibility, will be supported.**

**Development proposals that will result in the loss of open space which is, or has the potential to be, of quality and value, will not be permitted, unless provision of an open space of equal or enhanced quality and value is provided within the development or its vicinity.**

**Outdoor sports facilities will be safeguarded from development except where:**

- a) the proposed development is ancillary to the principal use of the site as an outdoor sports facility, or involves only a minor part of the facility and would not affect its use for sport and training;**
- b) the facility to be lost is to be replaced by a new or upgraded facility of comparable or better quality, which is convenient for the users of the original facility and maintains or improves overall playing capacity in the area; or**
- c) a relevant strategy demonstrates a clear excess of provision to meet current and anticipated demand, and the development would not result in a reduction in the overall quality of provision.**

**Development that would result in the loss of a core path, right of way or other important outdoor access route will not be permitted unless acceptable alternative provision can be made.**

## Delivering Green Infrastructure Through New Development

**11.21** To fully integrate green infrastructure into new development and enable connections to be made to the surrounding area, green infrastructure provision must be considered from the outset, as part of the initial design phase. It is key that green infrastructure proposals are informed by an appraisal of the existing natural features and eco system services on and in the vicinity of a development.

**11.22** Green infrastructure provision in new development should maximise opportunities for multiple benefits, which is a key feature of this type of infrastructure. For example, appropriate landscaping not only improves an area's attractiveness, but can also cleanse and cool the air, contribute to flood management, reduce noise and promote better health and well-being. The multi-functional benefits of individual elements can be further increased when they are integrated. For example, when landscaping provides shelter for an area of open space.

**11.23** The Council is keen to ensure that new development contributes to open space provision that is multi-functional, useable, and publicly accessible and meets the local needs of a range of users. This will be achieved by linking open space requirements to accessibility, quality and quantity standards set out in the Supplementary Guidance on Green Infrastructure. Open space requirements will also be informed by an Open Space Strategy, which is currently being prepared.

**11.24** It is important that new development incorporates paths and connections to the existing path network, especially where the opportunity exists to provide path access to the waterfront. The Council has developed an Active Travel Strategy, which identifies a range of actions for how the path network can be improved and expanded. The strategy projects will be supported in principle by this Plan.

**11.25** The Council will support proposals for new permanent and temporary allotment and community growing spaces, where these are appropriate in terms of location, design and accessibility.

**11.26** The Council will produce Supplementary Guidance on Green Infrastructure, which will provide details on how green infrastructure should be integrated into new development, in terms of design, quality and quantity.

## **POLICY 37 – DELIVERING GREEN INFRASTRUCTURE THROUGH NEW DEVELOPMENT**

**Green infrastructure provision should be informed by an appraisal of the existing natural features and eco systems services on and in close proximity to the proposed development site and fully incorporated into the wider design process at an early stage, in line with the approach to be set out in the Supplementary Guidance on Green Infrastructure.**

**Development proposals are required to provide open space in line with the**

**standards to be set out in Supplementary Guidance on Green Infrastructure. The Supplementary Guidance will also set out circumstances under which off-site provision or a developer contribution towards green infrastructure will be provided.**

**Where opportunities exist, development proposals will be required to provide new paths linking to the active travel network. The provision of routes along water will be an essential requirement on development sites with access to a waterfront, unless not appropriate for operational or health and safety reasons.**

**Development proposals are required to demonstrate how naturalised features will be incorporated into SuDS provision, in order to provide additional benefits such as habitat creation and open space. Where a SuDS proposal forms part of open space provision, it should be made safe and accessible.**

**The Supplementary Guidance on Green Infrastructure will set out how biodiversity enhancement can be incorporated into new developments, and the circumstances in which provision will be expected.**

**Green infrastructure proposals should be supported by information on how long term management will be achieved, including maintenance requirements, who will be responsible for meeting these requirements, and how they will be funded.**

## **The Green Network**

**11.27** A Strategic Green Network Blueprint has been prepared for the Glasgow city region area. The blueprint identifies a Strategic Access Network that facilitates the off-road movement of people through green active travel routes and greenspace, and a Strategic Habitat Network that facilitates the movement of wildlife through the landscape. The blueprint also helps to identify gaps in the strategic habitat and access networks within Inverclyde and opportunities to address those gaps.

**11.28** The Council supports the creation of the Strategic Green Network and the identification of opportunities aimed at addressing gaps in provision. While the Green Network opportunities identified by the Partnership are still being considered by the Council, supported opportunities will be identified in the Supplementary Guidance on Green Infrastructure.

## Clyde Muirshiel Regional Park

**11.29** Clyde Muirshiel is Scotland's largest regional park, covering 108 square miles of countryside in Inverclyde, Renfrewshire and North Ayrshire. Within Inverclyde, the Park boundary covers much of the upland moorland, and extends to the coast to include Lunderston Bay. It includes the Greenock Cut Visitor Centre, and provides an excellent recreational and educational resource for Inverclyde residents and visitors.

**11.30** The Park Objectives are:

- To conserve and enhance the natural beauty, biodiversity and cultural heritage of Clyde Muirshiel Park.
- To encourage and enable learning, understanding and enjoyment of Clyde Muirshiel Park.
- To promote and foster environmentally sustainable development for the social and economic well-being of the people and communities within the Clyde Muirshiel Park area.

**11.31** The Park area is covered by a number of other environmental and heritage designations protected by this Plan. This Plan supports the Park Objectives and the Park Strategy in principle, subject to assessment against other relevant policies of this Plan.

### POLICY 38 – CLYDE MUIRSHIEL REGIONAL PARK

Proposals for development within Clyde Muirshiel Regional Park will be considered with regard to the Park Objectives and Strategy and to the Park's statutory purpose of providing recreational access to the countryside.

## Water Environment

**11.32** In many ways, the geography and character of Inverclyde is defined by water. It sits proudly on the Firth of Clyde, is the source of the River Gryffe, has a countryside dotted with reservoirs, and includes the Greenock Cut, which is a 19th century example of water engineering which has Scheduled Monument status.

**11.33** Whilst these waterbodies add to the attractiveness of Inverclyde, the area can also be adversely affected by water, primarily through flooding, caused by high tides on the Clyde and heavy rainfall. Climate change is predicted to increase the frequency and severity of flooding events.

**11.34** It is important therefore to manage the water environment in a way which protects and enhances its function as a natural drainage system by, for example, minimising and removing hard engineering which affects the natural flow of water, and by increasing its attractiveness as a habitat and for recreation.

**11.35** This Plan also seeks to be consistent with Scotland's National Marine Plan which was approved in 2015, and with the forthcoming Clyde Regional Marine Plan.

### POLICY 39 – WATER ENVIRONMENT

Development proposals affecting the water environment will be required to safeguard and improve water quality and the enjoyment of the water environment by:

- a) supporting the strategies and actions of the national and regional marine plans, and supporting the objectives and actions of the River Basin Management Plan for Scotland and the Clyde Area Management Plan, where applicable;
- b) minimising adverse impacts on, or improving, water quality, flow rate, morphology, riparian habitat and groundwater dependent terrestrial ecosystems;
- c) the removal of existing culverts. This will be a requirement on development sites, unless it can be clearly demonstrated as not practical or resulting in the development not being viable;
- d) avoiding the hard engineering and culverting of waterways and the building over of existing culverts in new developments unless clearly demonstrated to be essential. Where culverts are required, they should be designed to maintain existing flow conditions and aquatic life, with long term maintenance arrangements;
- e) maintaining or improving waterside and water-based habitats; and
- f) providing appropriately sized buffer strips between development and watercourses, in line with SEPA guidance, and providing access to the water and waterside, where appropriate.

## SCHEDULE OF DEVELOPMENT LAND OWNED BY PLANNING AUTHORITY (INVERCLYDE COUNCIL)

DESCRIPTION OF LAND OWNED BY INVERCLYDE COUNCIL	REFERENCES TO POLICIES, PROPOSALS OR VIEWS CONTAINED IN LOCAL DEVELOPMENT PLAN WHICH RELATE TO THE OCCURENCE OF DEVELOPMENT OF THE LAND
Land at Kelburn, Port Glasgow	Policy 3 – Priority Places
Land at Woodhall, Port Glasgow (R4)	Policy 3 – Priority Places Policy 18 – New Housing Development
Land at Auchinleck Lane, Port Glasgow (R7)	Policy 3 – Priority Places Policy 18 – New housing Development
Land at Clune Park, Robert Street, Port Glasgow (R9)	Policy 3 – Priority Places Policy 18 – New Housing Development
Land at Ratho/MacDougall Street, Greenock (R19)	Policy 18 – New Housing Development
Land at Wellington Park, Greenock (R24)	Policy 18 – New Housing Development
Land at Mearns Street, Greenock (R26)	Policy 18 – New Housing Development
Land at West Stewart Street (R31) (C2)	Policy 18 – New Housing Development Policy 23 – Network of Centres Strategy
Land at Madeira Street, Greenock (R36)	Policy 18 – New Housing Development
Land at Lyle Road, Greenock (R38)	Policy 18 – New Housing Development
Land at Peat Road/Hole Farm Road, Greenock (R39)	Policy 18 – Land for housing
Land at Westmorland Road, Greenock (R44)	Policy 18 – New Housing Development
Land at Cumberland Walk, Greenock (R45)	Policy 18 – New Housing Development
Land at Kirn Drive, Gourock (R50)	Policy 18 – New Housing Development
Land at McPherson Drive, Gourock (R52)	Policy 18 – New Housing Development
Land at Shore Street, Gourock (R53) (C8)	Policy 18 – New Housing Development Policy 22 – Network of Centres Strategy
Land at Leperstone Avenue, Kilmacolm (R60)	Policy 18 – New Housing Development
Land west of Quarry Drive, Kilmacolm (R61)	Policy 18 – New Housing Development
Land at Brachelston Street, Greenock (F2)	Policy 22 – Community Facilities



DESCRIPTION OF LAND OWNED BY INVERCLYDE COUNCIL	REFERENCES TO POLICIES, PROPOSALS OR VIEWS CONTAINED IN LOCAL DEVELOPMENT PLAN WHICH RELATE TO THE OCCURENCE OF DEVELOPMENT OF THE LAND
Land at West Stewart Street, Greenock (C3)	Policy 22 – Network of Centres Strategy
Land at Crescent Street, Greenock (E11)	Policy 26 - Business and Industrial Development Opportunities
Land at Ingleston Street, Greenock (E12)	Policy 26 - Business and Industrial Development Opportunities
Land at Scott Street, Greenock (E13)	Policy 26 - Business and Industrial Development Opportunities
Land at Drumfrochar Road, Greenock (E15)	Policy 26 - Business and Industrial Development Opportunities

Inverclyde  
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